

## Appendix A – Limited Capital Plan

### **Building Information**

Input of general building information

### **Cash Flow Graph**

Summary of cash flow totalled by year

### **Project Worksheet**

Summary capital replacements during the initial year period

### **Building Component**

Worksheet includes the components of the building broken down by systems

### **Cash Flow Report**

Summary of capital replacements during the evaluation period of 25 years

## General Building Information Worksheet

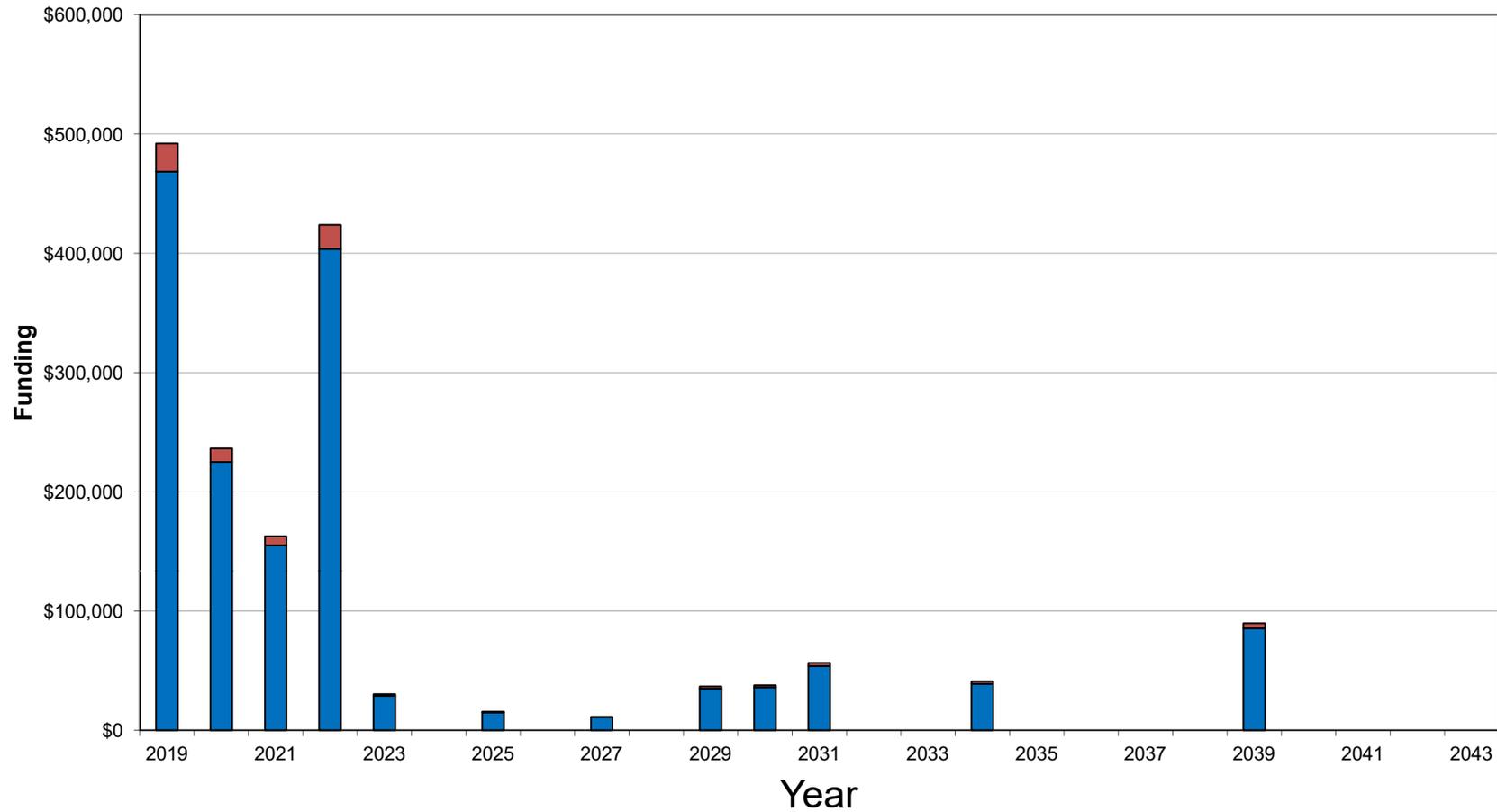
|  |                      |
|--|----------------------|
| Building Name                            | St. Theresa's Church |
| Civic Address                            | 6351 North St.       |
| Municipality, City                       | Halifax, NS          |
| Primary Use / Building Type              | Church               |
| Primary Units                            | Square Foot          |
| Building Area Square Foot                |                      |
| Replacement Cost per Square Foot         | \$ 341               |
| Building Replacement Cost                | \$ -                 |
| Year of Construction or Major Renovation | 1957                 |
| Start Year                               | 2019                 |
| Current Year                             | 2019                 |
| Target FCI                               |                      |
| Soft Costs (%)                           | 5%                   |
| Interest Rate                            | 3.00%                |
| Inflation Rate                           |                      |

### Asset Definition Columns

|   |                                |
|---|--------------------------------|
| 1 | Masonry                        |
| 2 | Windows                        |
| 3 | Doors                          |
| 4 | Roof                           |
| 5 | Building Interior              |
| 6 | Mechanical                     |
| 7 | Electrical                     |
| 8 | Life Safety / Fire Suppression |
| 9 | Specialty Systems              |

# Recapitalization Costs by Year for St. Theresa's Church

Friday, March 01, 2019



■ Annual Requirements ■ Soft Costs



## St. Theresa's Church Project Output Sheet for Period from 2019 to 2024

| Component   | Uniformat Code                   | Recapitalization Detail   | Year of Replacement | Expected Useful Life (EUL) | Current Age | Total Cost |
|---|----------------------------------|---|---------------------|----------------------------|-------------|------------|
| Envelope Assessment   | B2010 - Exterior Walls           | CMEEL Envelope assessment   | 2019                | 50                         | 0           | \$ 6,500   |
| Initial Masonry Pinning                                       | B2010 - Exterior Walls           | Allowance for Pinning consulting and construction   | 2019                | 3                          | 0           | \$ 14,000  |
| Allowance for Pinning Monitoring                              | B2010 - Exterior Walls           | Allowance to monitor the pinning every 6 months for three years                                     | 2019.5              | 3                          | 0           | \$ 3,000   |
| Allowance Future Pinning                                      | B2010 - Exterior Walls           | Budget allowance for future pinning   | 2021                | 1                          | 0           | \$ 5,000   |
| Masonry Wall Renewal - West                                   | B2010 - Exterior Walls           | Remove and reinstate the stone cladding   | 2019                | 60                         | 62          | \$ 230,500 |
| Masonry Wall Renewal - South                                  | B2010 - Exterior Walls           | Remove and reinstate the stone cladding   | 2021                | 60                         | 62          | \$ 125,000 |
| Masonry Wall Renewal - East                                   | B2010 - Exterior Walls           | Remove and reinstate the stone cladding   | 2020                | 60                         | 62          | \$ 225,000 |
| Masonry Wall Renewal - North                                  | B2010 - Exterior Walls           | Remove and reinstate the stone cladding   | 2022                | 60                         | 62          | \$ 340,000 |
| Special Shapes Allowance                                      | B2010 - Exterior Walls           | Allowance for replacement of damaged special shapes   | 2019                | 60                         | 62          | \$ 100,000 |
| Steel Lintels   | B2010 - Exterior Walls           | Replace the steel lintels with new during reconstruction  | 2022                | 60                         | 62          | \$ 2,160   |
| Chimney   | B2010 - Exterior Walls           | Repair Chimney  | 2022                | 60                         | 62          | \$ 27,600  |
| Stained Glass Windows   | B2020 - Exterior Windows         | Allowance for repair of three observed bowed glass units and inspection of the remaining window     | 2023                | 30                         | 35          | \$ 12,000  |
| W4 - Main Church High Level East and West Windows             | B2020 - Exterior Windows         | Major repair and refurbishment to the wood windows  | 2019                | 30                         | 62          | \$ 30,000  |
| W6 - Chapel Windows   | B2020 - Exterior Windows         | Replace deteriorated windows at end of life   | 2021                | 30                         | 62          | \$ 25,000  |
| W5- South Elevation Windows                                   | B2020 - Exterior Windows         | Replace deteriorated windows at end of life   | 2019                | 30                         | 62          | \$ 13,500  |
| W7- Boiler and East Stair Windows                             | B2020 - Exterior Windows         | Replace deteriorated windows at end of life   | 2019                | 30                         | 62          | \$ 15,000  |
| W9- West Elevation Basement Level Windows                     | B2020 - Exterior Windows         | Replace deteriorated windows at end of life   | 2019                | 30                         | 62          | \$ 8,000   |
| W8- North Wing Main and Fair Condition Basement Level Windows | B2020 - Exterior Windows         | Repair and refurbishment fair condition windows   | 2023                | 30                         | 62          | \$ 14,000  |
| South West Stair Entrance Doors                               | B2030 - Exterior Doors           | Replace poor condition doors at access ramp area  | 2022                | 40                         | 62          | \$ 10,000  |
| Mechanical Room Wood Doors                                    | B2030 - Exterior Doors           | Replace deteriorated wood doors with metal doors  | 2019                | 40                         | 62          | \$ 3,600   |
| Hardware Replacement  | B2030 - Exterior Doors           | Replace or refurbish the door hardware  | 2022                | 25                         | 62          | \$ 24,000  |
| Asphalt Roof- Ridgeline Repair Allowance                      | B3010 - Roof Coverings           | Localized repairs to damaged shingles   | 2019                | 10                         | 10          | \$ 2,000   |
| Asphalt Roof- Valley Repair Allowance                         | B3010 - Roof Coverings           | Repairs to shingles at valley areas as required to extend life of roof and prevent moisture ingress | 2023                | 15                         | 10          | \$ 3,000   |
| Flat Roof - Replace BUR                                       | B3010 - Roof Coverings           | Remove and replace flat roof and address ponding  | 2019                | 20                         | 39          | \$ 45,540  |
| Lightning Protection System                                   | D5090 - Other Electrical Systems | Confirm the lightning protection system through operations and maintenance budgets                  | 2020                | 100                        | 62          | \$ -       |

## Building Component Summary Worksheet St. Theresa's Church

| Component  | Uniformat Code           | Recapitalization Detail   | Year of Installation or Repair | Expected Useful Life (EUL) | Current Age | Theoretical Remaining Useful Life (RUL) | Useful Life Corrected For Observations | Year of Replacement | Type of event (Cyclic/Single) | Unit            | Quantity | Unit Cost     | Total Cost |
|--|--------------------------|---|--------------------------------|----------------------------|-------------|---|--|---------------------|-------------------------------|-----------------|----------|---------------|------------|
| <b>Masonry</b>   |                          |   |                                |                            |             |   |  |                     |                               |                 |          |               |            |
| Envelope Assessment  | B2010 - Exterior Walls   | C MEL Envelope assessment   | 2019                           | 50                         | 0           | 50                                      | 0                                      | 2019                | Single                        | LS              | 1        | \$ 6,500.00   | \$ 6,500   |
| Initial Masonry Pinning  | B2010 - Exterior Walls   | Allowance for Pinning consulting and construction   | 2019                           | 3                          | 0           | 3                                       | 0                                      | 2019                | Single                        | LS              | 1        | \$ 14,000.00  | \$ 14,000  |
| Allowance for Pinning Monitoring                                       | B2010 - Exterior Walls   | Allowance to monitor the pinning every 6 months for three years                                 | 2019                           | 3.0                        | 0           | 3                                       | 0.5                                    | 2019.5              | Cyclical                      | LS              | 6        | \$ 500.00     | \$ 3,000   |
| Allowance Future Pinning   | B2010 - Exterior Walls   | Budget allowance for future pinning   | 2019                           | 1                          | 0           | 1                                       | 2                                      | 2021                | Single                        | LS              | 1        | \$ 5,000.00   | \$ 5,000   |
| Masonry Wall Renewal - West  | B2010 - Exterior Walls   | Remove and reinstate the stone cladding   | 1957                           | 60                         | 62          | -2                                      | 0                                      | 2019                | Cyclical                      | ft <sup>2</sup> | 4,610    | \$ 50.00      | \$ 230,500 |
| Masonry Wall Renewal - South   | B2010 - Exterior Walls   | Remove and reinstate the stone cladding   | 1957                           | 60                         | 62          | -2                                      | 2                                      | 2021                | Cyclical                      | ft <sup>2</sup> | 2,500    | \$ 50.00      | \$ 125,000 |
| Masonry Wall Renewal - East  | B2010 - Exterior Walls   | Remove and reinstate the stone cladding   | 1957                           | 60                         | 62          | -2                                      | 1                                      | 2020                | Cyclical                      | ft <sup>2</sup> | 4,500    | \$ 50.00      | \$ 225,000 |
| Masonry Wall Renewal - North   | B2010 - Exterior Walls   | Remove and reinstate the stone cladding   | 1957                           | 60                         | 62          | -2                                      | 3                                      | 2022                | Cyclical                      | ft <sup>2</sup> | 6,800    | \$ 50.00      | \$ 340,000 |
| Special Shapes Allowance   | B2010 - Exterior Walls   | Allowance for replacement of damaged special shapes   | 1957                           | 60                         | 62          | -2                                      | 0                                      | 2019                | Cyclical                      | LS              | 1        | \$ 100,000.00 | \$ 100,000 |
| Steel Lintels  | B2010 - Exterior Walls   | Replace the steel lintels with new during reconstruction  | 1957                           | 60                         | 62          | -2                                      | 3                                      | 2022                | Cyclical                      | Lft             | 180      | \$ 12.00      | \$ 2,160   |
| Chimney  | B2010 - Exterior Walls   | Repair Chimney  | 1957                           | 60                         | 62          | -2                                      | 3                                      | 2022                | Cyclical                      | ft <sup>2</sup> | 552      | \$ 50.00      | \$ 27,600  |
| Upper Bell Tower   | B2010 - Exterior Walls   | Repari not antispated   | 1980                           | 60                         | 39          | 21                                      | 26                                     | 2045                | Cyclical                      | ft <sup>2</sup> | 2,500    | \$ 24.00      | \$ 60,000  |
| <b>Windows</b>   |                          |   |                                |                            |             |   |  |                     |                               |                 |          |               |            |
| W1- Basement Hall Windows  | B2020 - Exterior Windows | Replace basement windows at end of life   | 1980                           | 30                         | 39          | -9                                      | 20                                     | 2039                | Cyclical                      | Ea              | 10       | \$ 2,000.00   | \$ 20,000  |
| Stained Glass Windows  | B2020 - Exterior Windows | Allowance for repair of three observed bowed glass units and inspection of the remaining window | 1984                           | 30                         | 35          | -5                                      | 4                                      | 2023                | Cyclical                      | Ea              | 3        | \$ 4,000.00   | \$ 12,000  |
| W2 - Transept, Upper Sanctuary and over entrance doors on the East and | B2020 - Exterior Windows | Repair and refurbishment  | 1957                           | 30                         | 62          | -32                                     | 10                                     | 2029                | Cyclical                      | Ea              | 7        | \$ 5,000.00   | \$ 35,000  |
| Add Strom Windows to Three Large Windows                               | B2020 - Exterior Windows | Add storm windows to transept and south stained glass windows                                   | 2019                           | 30                         | 0           | 30                                      | 6                                      | 2025                | Cyclical                      | LS              | 1        | \$ 15,000.00  | \$ 15,000  |
| W3 -Main Church Low Level East and West Windows                        | B2020 - Exterior Windows | Major repair and refurbishment to the wood windows  | 1957                           | 30                         | 62          | -32                                     | 11                                     | 2030                | Cyclical                      | Ea              | 12       | \$ 3,000.00   | \$ 36,000  |
| W4 - Main Church High Level East and West Windows                      | B2020 - Exterior Windows | Major repair and refurbishment to the wood windows  | 1957                           | 30                         | 62          | -32                                     | 0                                      | 2019                | Cyclical                      | Ea              | 30       | \$ 1,000.00   | \$ 30,000  |
| W6 - Chapel Windows  | B2020 - Exterior Windows | Replace deteriorated windows at end of life   | 1957                           | 30                         | 62          | -32                                     | 2                                      | 2021                | Cyclical                      | Ea              | 5        | \$ 5,000.00   | \$ 25,000  |
| W5- South Elevation Windows  | B2020 - Exterior Windows | Replace deteriorated windows at end of life   | 1957                           | 30                         | 62          | -32                                     | 0                                      | 2019                | Cyclical                      | Ea              | 9        | \$ 1,500.00   | \$ 13,500  |
| W7- Boiler and East Stair Windows                                      | B2020 - Exterior Windows | Replace deteriorated windows at end of life   | 1957                           | 30                         | 62          | -32                                     | 0                                      | 2019                | Cyclical                      | Ea              | 5        | \$ 3,000.00   | \$ 15,000  |

## Building Component Summary Worksheet St. Theresa's Church

| Component  | Uniformat Code                   | Recapitalization Detail   | Year of Installation or Repair | Expected Useful Life (EUL) | Current Age | Theoretical Remaining Useful Life (RUL) | Useful Life Corrected For Observations | Year of Replacement | Type of event (Cyclic/Single) | Unit            | Quantity | Unit Cost    | Total Cost |
|--|----------------------------------|---|--------------------------------|----------------------------|-------------|---|--|---------------------|-------------------------------|-----------------|----------|--------------|------------|
| <b>W9- West Elevation Basement Level Windows</b>                     | B2020 - Exterior Windows         | Replace deteriorated windows at end of life   | 1957                           | 30                         | 62          | -32                                     | 0                                      | 2019                | Cyclical                      | Ea              | 4        | \$ 2,000.00  | \$ 8,000   |
| <b>W8- North Wing Main and Fair Condition Basement Level Windows</b> | B2020 - Exterior Windows         | Repair and refurbishment fair condition windows   | 1957                           | 30                         | 62          | -32                                     | 4                                      | 2023                | Cyclical                      | Ea              | 14       | \$ 1,000.00  | \$ 14,000  |
| <b>Doors</b>   |                                  |   |                                |                            |             |   |  |                     |                               |                 |          |              |            |
| <b>North Street Church Entrnce Doors</b>                             | B2030 - Exterior Doors           | Replace doors at end of extended useful life  | 1957                           | 40                         | 62          | -22                                     | 20                                     | 2039                | Cyclical                      | Ea              | 4        | \$ 5,000.00  | \$ 20,000  |
| <b>Stair Doors</b>   | B2030 - Exterior Doors           | Replace doors at end of extended useful life  | 1957                           | 40                         | 62          | -22                                     | 15                                     | 2034                | Cyclical                      | Ea              | 6        | \$ 5,000.00  | \$ 30,000  |
| <b>South West Stair Entrance Doors</b>                               | B2030 - Exterior Doors           | Replace poor condition doors at access ramp area  | 1957                           | 40                         | 62          | -22                                     | 3                                      | 2022                | Cyclical                      | Ea              | 2        | \$ 5,000.00  | \$ 10,000  |
| <b>Mechanical Room Wood Doors</b>                                    | B2030 - Exterior Doors           | Replace deteriorated wood doors with metal doors  | 1957                           | 40                         | 62          | -22                                     | 0                                      | 2019                | Cyclical                      | Ea              | 2        | \$ 1,800.00  | \$ 3,600   |
| <b>Hardware Replacement</b>  | B2030 - Exterior Doors           | Replace or refurbish the door hardware  | 1957                           | 25                         | 62          | -37                                     | 3                                      | 2022                | Cyclical                      | Ea              | 12       | \$ 2,000.00  | \$ 24,000  |
| <b>Roof</b>  |                                  |   |                                |                            |             |   |  |                     |                               |                 |          |              |            |
| <b>Asphalt Roof- Ridgeline Repair Allowance</b>                      | B3010 - Roof Coverings           | Localized repairs to damaged shingles   | 2009                           | 10                         | 10          | 0                                       | 0                                      | 2019                | Single                        | LS              | 1        | \$ 2,000.00  | \$ 2,000   |
| <b>Asphalt Roof- Valley Repair Allowance</b>                         | B3010 - Roof Coverings           | Repairs to shingles at valley areas as required to extend life of roof and prevent moisture ingress | 2009                           | 15                         | 10          | 5                                       | 4                                      | 2023                | Single                        | LS              | 1        | \$ 3,000.00  | \$ 3,000   |
| <b>Asphalt Roof- Low Roof Areas Replacement</b>                      | B3010 - Roof Coverings           | Replace low roofs prior to main church due to accelerated deterioration from drip edge of main roof | 2009                           | 20                         | 10          | 10                                      | 8                                      | 2027                | Cyclical                      | ft <sup>2</sup> | 1,285    | \$ 4.50      | \$ 5,783   |
| <b>Asphalt Roof- Main Roof Replacement</b>                           | B3010 - Roof Coverings           | Replace main church roof  | 2009                           | 20                         | 10          | 10                                      | 12                                     | 2031                | Cyclical                      | ft <sup>2</sup> | 7,970    | \$ 5.50      | \$ 43,835  |
| <b>Copper Bell Tower Roof</b>  | B3010 - Roof Coverings           | Major repair or replacement not anticipated   | 1980                           | 100                        | 39          | 61                                      | 61                                     | 2080                | Cyclical                      | ft <sup>2</sup> | 320      | \$ 125.00    | \$ 40,000  |
| <b>Copper Trim -Repair allowance</b>                                 | B3010 - Roof Coverings           | Allowance for repairs at the time of Roof Replacement   | 1957                           | 50                         | 62          | -12                                     | 8                                      | 2027                | Single                        | LS              | 1        | \$ 5,000.00  | \$ 5,000   |
| <b>Copper Trim -Repair allowance</b>                                 | B3010 - Roof Coverings           | Allowance for repairs at the time of Roof Replacement   | 1957                           | 50                         | 62          | -12                                     | 12                                     | 2031                | Single                        | LS              | 1        | \$ 10,000.00 | \$ 10,000  |
| <b>Flat Roof - Replace BUR</b>                                       | B3010 - Roof Coverings           | Remove and replace flat roof and address ponding  | 1980                           | 20                         | 39          | -19                                     | 0                                      | 2019                | Cyclical                      | ft <sup>2</sup> | 2,530    | \$ 18.00     | \$ 45,540  |
| <b>Flat Roof - Repair Allowance</b>                                  | B3010 - Roof Coverings           | Repair allowance of 20% to reach EUL  | 2019                           | 15                         | 0           | 15                                      | 15                                     | 2034                | Cyclical                      | ft <sup>2</sup> | 506      | \$ 18.00     | \$ 9,108   |
| <b>Speciality Systems</b>  |                                  |   |                                |                            |             |   |  |                     |                               |                 |          |              |            |
| <b>Lightning Protection System</b>                                   | D5090 - Other Electrical Systems | Confirm the lightning protection system through operations and maintenance budgets                  | 1957                           | 100                        | 62          | 38                                      | 1                                      | 2020                | Single                        |                 |          |              | \$ -       |

**St. Theresa's Church**  
**Cash Flow Analysis Output Sheet**

| Component   | Uniformat Code                   | Recapitalization Detail   | Type of event (cyclic/single) | Year of Installation or Repair | Expected Useful Life (EUL) | Useful Life Corrected For Observations | Year of Replacement | Unit Cost  | Total Cost | Year 1     | Year 2     | Year 3     | Year 4     | Year 5    |
|---|----------------------------------|---|-------------------------------|--------------------------------|----------------------------|--|---------------------|------------|------------|------------|------------|------------|------------|-----------|
|   |                                  |   |                               |                                |                            |  |                     |            |            | 2019       | 2020       | 2021       | 2022       | 2023      |
| <b>Masonry</b>  |                                  |   |                               |                                |                            |  |                     |            |            |            |            |            |            |           |
| Envelope Assessment   | B2010 - Exterior Walls           | CMEL Envelope assessment  | Single                        | 2019                           | 50                         | 0                                      | 2019                | \$ 6,500   | \$ 6,500   | \$ 6,500   | \$ -       | \$ -       | \$ -       | \$ -      |
| Initial Masonry Pinning   | B2010 - Exterior Walls           | Allowance for Pinning consulting and construction   | Single                        | 2019                           | 3                          | 0                                      | 2019                | \$ 14,000  | \$ 14,000  | \$ 14,000  | \$ -       | \$ -       | \$ -       | \$ -      |
| Allowance for Pinning Monitoring  | B2010 - Exterior Walls           | Allowance to monitor the pinning every 6 months for three years                                     | Cyclical                      | 2019                           | 3                          | 0.5                                    | 2019.5              | \$ 500     | \$ 3,000   | \$ -       | \$ -       | \$ -       | \$ -       | \$ -      |
| Allowance Future Pinning  | B2010 - Exterior Walls           | Budget allowance for future pinning   | Single                        | 2019                           | 1                          | 2                                      | 2021                | \$ 5,000   | \$ 5,000   | \$ -       | \$ -       | \$ 5,000   | \$ -       | \$ -      |
| Masonry Wall Renewal - West   | B2010 - Exterior Walls           | Remove and reinstate the stone cladding   | Cyclical                      | 1957                           | 60                         | 0                                      | 2019                | \$ 50      | \$ 230,500 | \$ 230,500 | \$ -       | \$ -       | \$ -       | \$ -      |
| Masonry Wall Renewal - South  | B2010 - Exterior Walls           | Remove and reinstate the stone cladding   | Cyclical                      | 1957                           | 60                         | 2                                      | 2021                | \$ 50      | \$ 125,000 | \$ -       | \$ -       | \$ 125,000 | \$ -       | \$ -      |
| Masonry Wall Renewal - East   | B2010 - Exterior Walls           | Remove and reinstate the stone cladding   | Cyclical                      | 1957                           | 60                         | 1                                      | 2020                | \$ 50      | \$ 225,000 | \$ -       | \$ 225,000 | \$ -       | \$ -       | \$ -      |
| Masonry Wall Renewal - North  | B2010 - Exterior Walls           | Remove and reinstate the stone cladding   | Cyclical                      | 1957                           | 60                         | 3                                      | 2022                | \$ 50      | \$ 340,000 | \$ -       | \$ -       | \$ -       | \$ 340,000 | \$ -      |
| Special Shapes Allowance  | B2010 - Exterior Walls           | Allowance for replacement of damaged special shapes   | Cyclical                      | 1957                           | 60                         | 0                                      | 2019                | \$ 100,000 | \$ 100,000 | \$ 100,000 | \$ -       | \$ -       | \$ -       | \$ -      |
| Steel Lintels   | B2010 - Exterior Walls           | Replace the steel lintels with new during reconstruction  | Cyclical                      | 1957                           | 60                         | 3                                      | 2022                | \$ 12      | \$ 2,160   | \$ -       | \$ -       | \$ -       | \$ 2,160   | \$ -      |
| Chimney   | B2010 - Exterior Walls           | Repair Chimney  | Cyclical                      | 1957                           | 60                         | 3                                      | 2022                | \$ 50      | \$ 27,600  | \$ -       | \$ -       | \$ -       | \$ 27,600  | \$ -      |
| Upper Bell Tower  | B2010 - Exterior Walls           | Repari not antispated   | Cyclical                      | 1980                           | 60                         | 26                                     | 2045                | \$ 24      | \$ 60,000  | \$ -       | \$ -       | \$ -       | \$ -       | \$ -      |
| <b>Masonry Summary</b>  |                                  |   |                               |                                |                            |  |                     |            |            | \$ 351,000 | \$ 225,000 | \$ 130,000 | \$ 369,760 | \$ -      |
| <b>Windows</b>  |                                  |   |                               |                                |                            |  |                     |            |            |            |            |            |            |           |
| W1- Basement Hall Windows   | B2020 - Exterior Windows         | Replace basement windows at end of life   | Cyclical                      | 1980                           | 30                         | 20                                     | 2039                | \$ 2,000   | \$ 20,000  | \$ -       | \$ -       | \$ -       | \$ -       | \$ -      |
| Stained Glass Windows   | B2020 - Exterior Windows         | Allowance for repair of three observed bowed glass units and inspection of the remaining window     | Cyclical                      | 1984                           | 30                         | 4                                      | 2023                | \$ 4,000   | \$ 12,000  | \$ -       | \$ -       | \$ -       | \$ -       | \$ 12,000 |
| W2 - Transept, Upper Sanctuary and over entrance doors on the East and West | B2020 - Exterior Windows         | Repair and refurbishment  | Cyclical                      | 1957                           | 30                         | 10                                     | 2029                | \$ 5,000   | \$ 35,000  | \$ -       | \$ -       | \$ -       | \$ -       | \$ -      |
| Add Strom Windows to Three Large Windows                                    | B2020 - Exterior Windows         | Add storm windows to transept and south stained glass windows                                       | Cyclical                      | 2019                           | 30                         | 6                                      | 2025                | \$ 15,000  | \$ 15,000  | \$ -       | \$ -       | \$ -       | \$ -       | \$ -      |
| W3 -Main Church Low Level East and West Windows                             | B2020 - Exterior Windows         | Major repair and refurbishment to the wood windows  | Cyclical                      | 1957                           | 30                         | 11                                     | 2030                | \$ 3,000   | \$ 36,000  | \$ -       | \$ -       | \$ -       | \$ -       | \$ -      |
| W4 - Main Church High Level East and West Windows                           | B2020 - Exterior Windows         | Major repair and refurbishment to the wood windows  | Cyclical                      | 1957                           | 30                         | 0                                      | 2019                | \$ 1,000   | \$ 30,000  | \$ 30,000  | \$ -       | \$ -       | \$ -       | \$ -      |
| W6 - Chapel Windows   | B2020 - Exterior Windows         | Replace deteriorated windows at end of life   | Cyclical                      | 1957                           | 30                         | 2                                      | 2021                | \$ 5,000   | \$ 25,000  | \$ -       | \$ -       | \$ 25,000  | \$ -       | \$ -      |
| W5- South Elevation Windows   | B2020 - Exterior Windows         | Replace deteriorated windows at end of life   | Cyclical                      | 1957                           | 30                         | 0                                      | 2019                | \$ 1,500   | \$ 13,500  | \$ 13,500  | \$ -       | \$ -       | \$ -       | \$ -      |
| W7- Boiler and East Stair Windows   | B2020 - Exterior Windows         | Replace deteriorated windows at end of life   | Cyclical                      | 1957                           | 30                         | 0                                      | 2019                | \$ 3,000   | \$ 15,000  | \$ 15,000  | \$ -       | \$ -       | \$ -       | \$ -      |
| W9- West Elevation Basement Level Windows                                   | B2020 - Exterior Windows         | Replace deteriorated windows at end of life   | Cyclical                      | 1957                           | 30                         | 0                                      | 2019                | \$ 2,000   | \$ 8,000   | \$ 8,000   | \$ -       | \$ -       | \$ -       | \$ -      |
| W8- North Wing Main and Fair Condition Windows                              | B2020 - Exterior Windows         | Repair and refurbishment fair condition windows   | Cyclical                      | 1957                           | 30                         | 4                                      | 2023                | \$ 1,000   | \$ 14,000  | \$ -       | \$ -       | \$ -       | \$ -       | \$ 14,000 |
| <b>Windows Summary</b>  |                                  |   |                               |                                |                            |  |                     |            |            | \$ 66,500  | \$ -       | \$ 25,000  | \$ -       | \$ 26,000 |
| <b>Doors</b>  |                                  |   |                               |                                |                            |  |                     |            |            |            |            |            |            |           |
| North Street Church Entrnce Doors   | B2030 - Exterior Doors           | Replace doors at end of extended useful life  | Cyclical                      | 1957                           | 40                         | 20                                     | 2039                | \$ 5,000   | \$ 20,000  | \$ -       | \$ -       | \$ -       | \$ -       | \$ -      |
| Stair Doors   | B2030 - Exterior Doors           | Replace doors at end of extended useful life  | Cyclical                      | 1957                           | 40                         | 15                                     | 2034                | \$ 5,000   | \$ 30,000  | \$ -       | \$ -       | \$ -       | \$ -       | \$ -      |
| South West Stair Entrance Doors   | B2030 - Exterior Doors           | Replace poor condition doors at access ramp area  | Cyclical                      | 1957                           | 40                         | 3                                      | 2022                | \$ 5,000   | \$ 10,000  | \$ -       | \$ -       | \$ -       | \$ 10,000  | \$ -      |
| Mechanical Room Wood Doors  | B2030 - Exterior Doors           | Replace deteriorated wood doors with metal doors  | Cyclical                      | 1957                           | 40                         | 0                                      | 2019                | \$ 1,800   | \$ 3,600   | \$ 3,600   | \$ -       | \$ -       | \$ -       | \$ -      |
| Hardware Replacement  | B2030 - Exterior Doors           | Replace or refurbish the door hardware  | Cyclical                      | 1957                           | 25                         | 3                                      | 2022                | \$ 2,000   | \$ 24,000  | \$ -       | \$ -       | \$ -       | \$ 24,000  | \$ -      |
| <b>Doors Summary</b>  |                                  |   |                               |                                |                            |  |                     |            |            | \$ 3,600   | \$ -       | \$ -       | \$ 34,000  | \$ -      |
| <b>Roof</b>   |                                  |   |                               |                                |                            |  |                     |            |            |            |            |            |            |           |
| Asphalt Roof- Ridgeline Repair Allowance                                    | B3010 - Roof Coverings           | Localized repairs to damaged shingles   | Single                        | 2009                           | 10                         | 0                                      | 2019                | \$ 2,000   | \$ 2,000   | \$ 2,000   | \$ -       | \$ -       | \$ -       | \$ -      |
| Asphalt Roof- Valley Repair Allowance                                       | B3010 - Roof Coverings           | Repairs to shingles at valley areas as required to extend life of roof and prevent moisture ingress | Single                        | 2009                           | 15                         | 4                                      | 2023                | \$ 3,000   | \$ 3,000   | \$ -       | \$ -       | \$ -       | \$ -       | \$ 3,000  |
| Asphalt Roof- Low Roof Areas Replacement                                    | B3010 - Roof Coverings           | Replace low roofs prior to main church due to accelerated deterioration from drip edge of main roof | Cyclical                      | 2009                           | 20                         | 8                                      | 2027                | \$ 5       | \$ 5,783   | \$ -       | \$ -       | \$ -       | \$ -       | \$ -      |
| Asphalt Roof- Main Roof Replacement   | B3010 - Roof Coverings           | Replace main church roof  | Cyclical                      | 2009                           | 20                         | 12                                     | 2031                | \$ 6       | \$ 43,835  | \$ -       | \$ -       | \$ -       | \$ -       | \$ -      |
| Copper Bell Tower Roof  | B3010 - Roof Coverings           | Major repair or replacement not anticipated   | Cyclical                      | 1980                           | 100                        | 61                                     | 2080                | \$ 125     | \$ 40,000  | \$ -       | \$ -       | \$ -       | \$ -       | \$ -      |
| Copper Trim -Repair allowance   | B3010 - Roof Coverings           | Allowance for repairs at the time of Roof Replacement   | Single                        | 1957                           | 50                         | 8                                      | 2027                | \$ 5,000   | \$ 5,000   | \$ -       | \$ -       | \$ -       | \$ -       | \$ -      |
| Copper Trim -Repair allowance   | B3010 - Roof Coverings           | Allowance for repairs at the time of Roof Replacement   | Single                        | 1957                           | 50                         | 12                                     | 2031                | \$ 10,000  | \$ 10,000  | \$ -       | \$ -       | \$ -       | \$ -       | \$ -      |
| Flat Roof - Replace BUR   | B3010 - Roof Coverings           | Remove and replace flat roof and address ponding  | Cyclical                      | 1980                           | 20                         | 0                                      | 2019                | \$ 18      | \$ 45,540  | \$ 45,540  | \$ -       | \$ -       | \$ -       | \$ -      |
| Flat Roof - Repair Allowance  | B3010 - Roof Coverings           | Repair allowance of 20% to reach EUL  | Cyclical                      | 2019                           | 15                         | 15                                     | 2034                | \$ 18      | \$ 9,108   | \$ -       | \$ -       | \$ -       | \$ -       | \$ -      |
| <b>Roof Summary</b>   |                                  |   |                               |                                |                            |  |                     |            |            | \$ 47,540  | \$ -       | \$ -       | \$ -       | \$ 3,000  |
| <b>Speciality Systems</b>   |                                  |   |                               |                                |                            |  |                     |            |            |            |            |            |            |           |
| Lightning Protection System   | D5090 - Other Electrical Systems | Confirm the lightning protection system through operations and maintenance budgets                  | Single                        | 1957                           | 100                        | 1                                      | 2020                | \$ -       | \$ -       | \$ -       | \$ -       | \$ -       | \$ -       | \$ -      |
| <b>Speciality Systems Summary</b>   |                                  |   |                               |                                |                            |  |                     |            |            | \$ -       | \$ -       | \$ -       | \$ -       | \$ -      |

**St. Theresa's Church  
Cash Flow Analysis Output Sheet**

| Component  | Unifomat Code                    | Recapitalization Detail   | Type of event (cyclic/single) | Year of Installation or Repair | Expected Useful Life (EUL) | Useful Life Corrected For Observations | Year of Replacement | Unit Cost  | Year 6 | Year 7    | Year 8 | Year 9    | Year 10 | Year 11   | Year 12   | Year 13   | Year 14 | Year 15 |
|--|----------------------------------|---|-------------------------------|--------------------------------|----------------------------|--|---------------------|------------|--------|-----------|--------|-----------|---------|-----------|-----------|-----------|---------|---------|
|  |                                  |   |                               |                                |                            |  |                     |            | 2024   | 2025      | 2026   | 2027      | 2028    | 2029      | 2030      | 2031      | 2032    | 2033    |
| <b>Masonry</b>   |                                  |   |                               |                                |                            |  |                     |            |        |           |        |           |         |           |           |           |         |         |
| Envelope Assessment  | B2010 - Exterior Walls           | CMELE Envelope assessment   | Single                        | 2019                           | 50                         | 0                                      | 2019                | \$ 6,500   | \$ -   | \$ -      | \$ -   | \$ -      | \$ -    | \$ -      | \$ -      | \$ -      | \$ -    | \$ -    |
| Initial Masonry Pinning  | B2010 - Exterior Walls           | Allowance for Pinning consulting and construction   | Single                        | 2019                           | 3                          | 0                                      | 2019                | \$ 14,000  | \$ -   | \$ -      | \$ -   | \$ -      | \$ -    | \$ -      | \$ -      | \$ -      | \$ -    | \$ -    |
| Allowance for Pinning Monitoring   | B2010 - Exterior Walls           | Allowance to monitor the pinning every 6 months for three years                                     | Cyclical                      | 2019                           | 3                          | 0.5                                    | 2019.5              | \$ 500     | \$ -   | \$ -      | \$ -   | \$ -      | \$ -    | \$ -      | \$ -      | \$ -      | \$ -    | \$ -    |
| Allowance Future Pinning   | B2010 - Exterior Walls           | Budget allowance for future pinning   | Single                        | 2019                           | 1                          | 2                                      | 2021                | \$ 5,000   | \$ -   | \$ -      | \$ -   | \$ -      | \$ -    | \$ -      | \$ -      | \$ -      | \$ -    | \$ -    |
| Masonry Wall Renewal - West  | B2010 - Exterior Walls           | Remove and reinstate the stone cladding   | Cyclical                      | 1957                           | 60                         | 0                                      | 2019                | \$ 50      | \$ -   | \$ -      | \$ -   | \$ -      | \$ -    | \$ -      | \$ -      | \$ -      | \$ -    | \$ -    |
| Masonry Wall Renewal - South   | B2010 - Exterior Walls           | Remove and reinstate the stone cladding   | Cyclical                      | 1957                           | 60                         | 2                                      | 2021                | \$ 50      | \$ -   | \$ -      | \$ -   | \$ -      | \$ -    | \$ -      | \$ -      | \$ -      | \$ -    | \$ -    |
| Masonry Wall Renewal - East  | B2010 - Exterior Walls           | Remove and reinstate the stone cladding   | Cyclical                      | 1957                           | 60                         | 1                                      | 2020                | \$ 50      | \$ -   | \$ -      | \$ -   | \$ -      | \$ -    | \$ -      | \$ -      | \$ -      | \$ -    | \$ -    |
| Masonry Wall Renewal - North   | B2010 - Exterior Walls           | Remove and reinstate the stone cladding   | Cyclical                      | 1957                           | 60                         | 3                                      | 2022                | \$ 50      | \$ -   | \$ -      | \$ -   | \$ -      | \$ -    | \$ -      | \$ -      | \$ -      | \$ -    | \$ -    |
| Special Shapes Allowance   | B2010 - Exterior Walls           | Allowance for replacement of damaged special shapes   | Cyclical                      | 1957                           | 60                         | 0                                      | 2019                | \$ 100,000 | \$ -   | \$ -      | \$ -   | \$ -      | \$ -    | \$ -      | \$ -      | \$ -      | \$ -    | \$ -    |
| Steel Lintels  | B2010 - Exterior Walls           | Replace the steel lintels with new during reconstruction  | Cyclical                      | 1957                           | 60                         | 3                                      | 2022                | \$ 12      | \$ -   | \$ -      | \$ -   | \$ -      | \$ -    | \$ -      | \$ -      | \$ -      | \$ -    | \$ -    |
| Chimney  | B2010 - Exterior Walls           | Repair Chimney  | Cyclical                      | 1957                           | 60                         | 3                                      | 2022                | \$ 50      | \$ -   | \$ -      | \$ -   | \$ -      | \$ -    | \$ -      | \$ -      | \$ -      | \$ -    | \$ -    |
| Upper Bell Tower   | B2010 - Exterior Walls           | Repairs not anticipated   | Cyclical                      | 1980                           | 60                         | 26                                     | 2045                | \$ 24      | \$ -   | \$ -      | \$ -   | \$ -      | \$ -    | \$ -      | \$ -      | \$ -      | \$ -    | \$ -    |
| <b>Masonry Summary</b>   |                                  |   |                               |                                |                            |  |                     |            | \$ -   | \$ -      | \$ -   | \$ -      | \$ -    | \$ -      | \$ -      | \$ -      | \$ -    |         |
| <b>Windows</b>   |                                  |   |                               |                                |                            |  |                     |            |        |           |        |           |         |           |           |           |         |         |
| W1- Basement Hall Windows  | B2020 - Exterior Windows         | Replace basement windows at end of life   | Cyclical                      | 1980                           | 30                         | 20                                     | 2039                | \$ 2,000   | \$ -   | \$ -      | \$ -   | \$ -      | \$ -    | \$ -      | \$ -      | \$ -      | \$ -    | \$ -    |
| Stained Glass Windows  | B2020 - Exterior Windows         | Allowance for repair of three observed bowed glass units and inspection of the remaining window     | Cyclical                      | 1984                           | 30                         | 4                                      | 2023                | \$ 4,000   | \$ -   | \$ -      | \$ -   | \$ -      | \$ -    | \$ -      | \$ -      | \$ -      | \$ -    | \$ -    |
| W2- Transept, Upper Sanctuary and over entrance doors on the East and West | B2020 - Exterior Windows         | Repair and refurbishment  | Cyclical                      | 1957                           | 30                         | 10                                     | 2029                | \$ 5,000   | \$ -   | \$ -      | \$ -   | \$ -      | \$ -    | \$ 35,000 | \$ -      | \$ -      | \$ -    | \$ -    |
| Add Storm Windows to Three Large Windows                                   | B2020 - Exterior Windows         | Add storm windows to transept and south stained glass windows                                       | Cyclical                      | 2019                           | 30                         | 6                                      | 2025                | \$ 15,000  | \$ -   | \$ 15,000 | \$ -   | \$ -      | \$ -    | \$ -      | \$ -      | \$ -      | \$ -    | \$ -    |
| W3 -Main Church Low Level East and West Windows                            | B2020 - Exterior Windows         | Major repair and refurbishment to the wood windows  | Cyclical                      | 1957                           | 30                         | 11                                     | 2030                | \$ 3,000   | \$ -   | \$ -      | \$ -   | \$ -      | \$ -    | \$ -      | \$ 36,000 | \$ -      | \$ -    | \$ -    |
| W4 - Main Church High Level East and West Windows                          | B2020 - Exterior Windows         | Major repair and refurbishment to the wood windows  | Cyclical                      | 1957                           | 30                         | 0                                      | 2019                | \$ 1,000   | \$ -   | \$ -      | \$ -   | \$ -      | \$ -    | \$ -      | \$ -      | \$ -      | \$ -    | \$ -    |
| W6 - Chapel Windows  | B2020 - Exterior Windows         | Replace deteriorated windows at end of life   | Cyclical                      | 1957                           | 30                         | 2                                      | 2021                | \$ 5,000   | \$ -   | \$ -      | \$ -   | \$ -      | \$ -    | \$ -      | \$ -      | \$ -      | \$ -    | \$ -    |
| W5- South Elevation Windows  | B2020 - Exterior Windows         | Replace deteriorated windows at end of life   | Cyclical                      | 1957                           | 30                         | 0                                      | 2019                | \$ 1,500   | \$ -   | \$ -      | \$ -   | \$ -      | \$ -    | \$ -      | \$ -      | \$ -      | \$ -    | \$ -    |
| W7- Boiler and East Stair Windows  | B2020 - Exterior Windows         | Replace deteriorated windows at end of life   | Cyclical                      | 1957                           | 30                         | 0                                      | 2019                | \$ 3,000   | \$ -   | \$ -      | \$ -   | \$ -      | \$ -    | \$ -      | \$ -      | \$ -      | \$ -    | \$ -    |
| W9- West Elevation Basement Level Windows                                  | B2020 - Exterior Windows         | Replace deteriorated windows at end of life   | Cyclical                      | 1957                           | 30                         | 0                                      | 2019                | \$ 2,000   | \$ -   | \$ -      | \$ -   | \$ -      | \$ -    | \$ -      | \$ -      | \$ -      | \$ -    | \$ -    |
| W8- North Wing Main and Fair Condition Windows                             | B2020 - Exterior Windows         | Repair and refurbishment fair condition windows   | Cyclical                      | 1957                           | 30                         | 4                                      | 2023                | \$ 1,000   | \$ -   | \$ -      | \$ -   | \$ -      | \$ -    | \$ -      | \$ -      | \$ -      | \$ -    | \$ -    |
| <b>Windows Summary</b>   |                                  |   |                               |                                |                            |  |                     |            | \$ -   | \$ 15,000 | \$ -   | \$ -      | \$ -    | \$ 35,000 | \$ 36,000 | \$ -      | \$ -    |         |
| <b>Doors</b>   |                                  |   |                               |                                |                            |  |                     |            |        |           |        |           |         |           |           |           |         |         |
| North Street Church Entrance Doors   | B2030 - Exterior Doors           | Replace doors at end of extended useful life  | Cyclical                      | 1957                           | 40                         | 20                                     | 2039                | \$ 5,000   | \$ -   | \$ -      | \$ -   | \$ -      | \$ -    | \$ -      | \$ -      | \$ -      | \$ -    | \$ -    |
| Stair Doors  | B2030 - Exterior Doors           | Replace doors at end of extended useful life  | Cyclical                      | 1957                           | 40                         | 15                                     | 2034                | \$ 5,000   | \$ -   | \$ -      | \$ -   | \$ -      | \$ -    | \$ -      | \$ -      | \$ -      | \$ -    | \$ -    |
| South West Stair Entrance Doors  | B2030 - Exterior Doors           | Replace poor condition doors at access ramp area  | Cyclical                      | 1957                           | 40                         | 3                                      | 2022                | \$ 5,000   | \$ -   | \$ -      | \$ -   | \$ -      | \$ -    | \$ -      | \$ -      | \$ -      | \$ -    | \$ -    |
| Mechanical Room Wood Doors   | B2030 - Exterior Doors           | Replace deteriorated wood doors with metal doors  | Cyclical                      | 1957                           | 40                         | 0                                      | 2019                | \$ 1,800   | \$ -   | \$ -      | \$ -   | \$ -      | \$ -    | \$ -      | \$ -      | \$ -      | \$ -    | \$ -    |
| Hardware Replacement   | B2030 - Exterior Doors           | Replace or refurbish the door hardware  | Cyclical                      | 1957                           | 25                         | 3                                      | 2022                | \$ 2,000   | \$ -   | \$ -      | \$ -   | \$ -      | \$ -    | \$ -      | \$ -      | \$ -      | \$ -    | \$ -    |
| <b>Doors Summary</b>   |                                  |   |                               |                                |                            |  |                     |            | \$ -   | \$ -      | \$ -   | \$ -      | \$ -    | \$ -      | \$ -      | \$ -      | \$ -    |         |
| <b>Roof</b>  |                                  |   |                               |                                |                            |  |                     |            |        |           |        |           |         |           |           |           |         |         |
| Asphalt Roof- Ridgeline Repair Allowance                                   | B3010 - Roof Coverings           | Localized repairs to damaged shingles   | Single                        | 2009                           | 10                         | 0                                      | 2019                | \$ 2,000   | \$ -   | \$ -      | \$ -   | \$ -      | \$ -    | \$ -      | \$ -      | \$ -      | \$ -    | \$ -    |
| Asphalt Roof- Valley Repair Allowance                                      | B3010 - Roof Coverings           | Repairs to shingles at valley areas as required to extend life of roof and prevent moisture ingress | Single                        | 2009                           | 15                         | 4                                      | 2023                | \$ 3,000   | \$ -   | \$ -      | \$ -   | \$ -      | \$ -    | \$ -      | \$ -      | \$ -      | \$ -    | \$ -    |
| Asphalt Roof- Low Roof Areas Replacement                                   | B3010 - Roof Coverings           | Replace low roofs prior to main church due to accelerated deterioration from drip edge of main roof | Cyclical                      | 2009                           | 20                         | 8                                      | 2027                | \$ 5       | \$ -   | \$ -      | \$ -   | \$ 5,783  | \$ -    | \$ -      | \$ -      | \$ -      | \$ -    | \$ -    |
| Asphalt Roof- Main Roof Replacement  | B3010 - Roof Coverings           | Replace main church roof  | Cyclical                      | 2009                           | 20                         | 12                                     | 2031                | \$ 6       | \$ -   | \$ -      | \$ -   | \$ -      | \$ -    | \$ -      | \$ -      | \$ 43,835 | \$ -    | \$ -    |
| Copper Bell Tower Roof   | B3010 - Roof Coverings           | Major repair or replacement not anticipated   | Cyclical                      | 1980                           | 100                        | 61                                     | 2080                | \$ 125     | \$ -   | \$ -      | \$ -   | \$ -      | \$ -    | \$ -      | \$ -      | \$ -      | \$ -    | \$ -    |
| Copper Trim -Repair allowance  | B3010 - Roof Coverings           | Allowance for repairs at the time of Roof Replacement   | Single                        | 1957                           | 50                         | 8                                      | 2027                | \$ 5,000   | \$ -   | \$ -      | \$ -   | \$ 5,000  | \$ -    | \$ -      | \$ -      | \$ -      | \$ -    | \$ -    |
| Copper Trim -Repair allowance  | B3010 - Roof Coverings           | Allowance for repairs at the time of Roof Replacement   | Single                        | 1957                           | 50                         | 12                                     | 2031                | \$ 10,000  | \$ -   | \$ -      | \$ -   | \$ -      | \$ -    | \$ -      | \$ -      | \$ 10,000 | \$ -    | \$ -    |
| Flat Roof - Replace BUR  | B3010 - Roof Coverings           | Remove and replace flat roof and address ponding  | Cyclical                      | 1980                           | 20                         | 0                                      | 2019                | \$ 18      | \$ -   | \$ -      | \$ -   | \$ -      | \$ -    | \$ -      | \$ -      | \$ -      | \$ -    | \$ -    |
| Flat Roof - Repair Allowance   | B3010 - Roof Coverings           | Repair allowance of 20% to reach EUL  | Cyclical                      | 2019                           | 15                         | 15                                     | 2034                | \$ 18      | \$ -   | \$ -      | \$ -   | \$ -      | \$ -    | \$ -      | \$ -      | \$ -      | \$ -    | \$ -    |
| <b>Roof Summary</b>  |                                  |   |                               |                                |                            |  |                     |            | \$ -   | \$ -      | \$ -   | \$ 10,783 | \$ -    | \$ -      | \$ 53,835 | \$ -      | \$ -    |         |
| <b>Specialty Systems</b>   |                                  |   |                               |                                |                            |  |                     |            |        |           |        |           |         |           |           |           |         |         |
| Lightning Protection System  | D5090 - Other Electrical Systems | Confirm the lightning protection system through operations and maintenance budgets                  | Single                        | 1957                           | 100                        | 1                                      | 2020                | \$ -       | \$ -   | \$ -      | \$ -   | \$ -      | \$ -    | \$ -      | \$ -      | \$ -      | \$ -    | \$ -    |
| <b>Specialty Systems Summary</b>   |                                  |   |                               |                                |                            |  |                     |            | \$ -   | \$ -      | \$ -   | \$ -      | \$ -    | \$ -      | \$ -      | \$ -      | \$ -    |         |

**St. Theresa's Church  
Cash Flow Analysis Output Sheet**

| Component   | Unifomat Code                    | Recapitalization Detail   | Type of event (cyclic/single) | Year of Installation or Repair | Expected Useful Life (EUL) | Useful Life Corrected For Observations | Year of Replacement | Unit Cost  | Year 16   | Year 17 | Year 18 | Year 19 | Year 20 | Year 21   | Year 22 | Year 23 | Year 24 | Year 25 |
|---|----------------------------------|---|-------------------------------|--------------------------------|----------------------------|--|---------------------|------------|-----------|---------|---------|---------|---------|-----------|---------|---------|---------|---------|
|   |                                  |   |                               |                                |                            |  |                     |            | 2034      | 2035    | 2036    | 2037    | 2038    | 2039      | 2040    | 2041    | 2042    | 2043    |
| <b>Masonry</b>  |                                  |   |                               |                                |                            |  |                     |            |           |         |         |         |         |           |         |         |         |         |
| Envelope Assessment   | B2010 - Exterior Walls           | CMEI Envelope assessment  | Single                        | 2019                           | 50                         | 0                                      | 2019                | \$ 6,500   | \$ -      | \$ -    | \$ -    | \$ -    | \$ -    | \$ -      | \$ -    | \$ -    | \$ -    | \$ -    |
| Initial Masonry Pinning   | B2010 - Exterior Walls           | Allowance for Pinning consulting and construction   | Single                        | 2019                           | 3                          | 0                                      | 2019                | \$ 14,000  | \$ -      | \$ -    | \$ -    | \$ -    | \$ -    | \$ -      | \$ -    | \$ -    | \$ -    | \$ -    |
| Allowance for Pinning Monitoring  | B2010 - Exterior Walls           | Allowance to monitor the pinning every 6 months for three years                                     | Cyclical                      | 2019                           | 3                          | 0.5                                    | 2019.5              | \$ 500     | \$ -      | \$ -    | \$ -    | \$ -    | \$ -    | \$ -      | \$ -    | \$ -    | \$ -    | \$ -    |
| Allowance Future Pinning  | B2010 - Exterior Walls           | Budget allowance for future pinning   | Single                        | 2019                           | 1                          | 2                                      | 2021                | \$ 5,000   | \$ -      | \$ -    | \$ -    | \$ -    | \$ -    | \$ -      | \$ -    | \$ -    | \$ -    | \$ -    |
| Masonry Wall Renewal - West   | B2010 - Exterior Walls           | Remove and reinstate the stone cladding   | Cyclical                      | 1957                           | 60                         | 0                                      | 2019                | \$ 50      | \$ -      | \$ -    | \$ -    | \$ -    | \$ -    | \$ -      | \$ -    | \$ -    | \$ -    | \$ -    |
| Masonry Wall Renewal - South  | B2010 - Exterior Walls           | Remove and reinstate the stone cladding   | Cyclical                      | 1957                           | 60                         | 2                                      | 2021                | \$ 50      | \$ -      | \$ -    | \$ -    | \$ -    | \$ -    | \$ -      | \$ -    | \$ -    | \$ -    | \$ -    |
| Masonry Wall Renewal - East   | B2010 - Exterior Walls           | Remove and reinstate the stone cladding   | Cyclical                      | 1957                           | 60                         | 1                                      | 2020                | \$ 50      | \$ -      | \$ -    | \$ -    | \$ -    | \$ -    | \$ -      | \$ -    | \$ -    | \$ -    | \$ -    |
| Masonry Wall Renewal - North  | B2010 - Exterior Walls           | Remove and reinstate the stone cladding   | Cyclical                      | 1957                           | 60                         | 3                                      | 2022                | \$ 50      | \$ -      | \$ -    | \$ -    | \$ -    | \$ -    | \$ -      | \$ -    | \$ -    | \$ -    | \$ -    |
| Special Shapes Allowance  | B2010 - Exterior Walls           | Allowance for replacement of damaged special shapes   | Cyclical                      | 1957                           | 60                         | 0                                      | 2019                | \$ 100,000 | \$ -      | \$ -    | \$ -    | \$ -    | \$ -    | \$ -      | \$ -    | \$ -    | \$ -    | \$ -    |
| Steel Lintels   | B2010 - Exterior Walls           | Replace the steel lintels with new during reconstruction  | Cyclical                      | 1957                           | 60                         | 3                                      | 2022                | \$ 12      | \$ -      | \$ -    | \$ -    | \$ -    | \$ -    | \$ -      | \$ -    | \$ -    | \$ -    | \$ -    |
| Chimney   | B2010 - Exterior Walls           | Repair Chimney  | Cyclical                      | 1957                           | 60                         | 3                                      | 2022                | \$ 50      | \$ -      | \$ -    | \$ -    | \$ -    | \$ -    | \$ -      | \$ -    | \$ -    | \$ -    | \$ -    |
| Upper Bell Tower  | B2010 - Exterior Walls           | Repair not anticipated  | Cyclical                      | 1980                           | 60                         | 26                                     | 2045                | \$ 24      | \$ -      | \$ -    | \$ -    | \$ -    | \$ -    | \$ -      | \$ -    | \$ -    | \$ -    | \$ -    |
| <b>Masonry Summary</b>  |                                  |   |                               |                                |                            |  |                     |            | \$ -      | \$ -    | \$ -    | \$ -    | \$ -    | \$ -      | \$ -    | \$ -    | \$ -    |         |
| <b>Windows</b>  |                                  |   |                               |                                |                            |  |                     |            |           |         |         |         |         |           |         |         |         |         |
| W1- Basement Hall Windows   | B2020 - Exterior Windows         | Replace basement windows at end of life   | Cyclical                      | 1980                           | 30                         | 20                                     | 2039                | \$ 2,000   | \$ -      | \$ -    | \$ -    | \$ -    | \$ -    | \$ 20,000 | \$ -    | \$ -    | \$ -    | \$ -    |
| Stained Glass Windows   | B2020 - Exterior Windows         | Allowance for repair of three observed bowed glass units and inspection of the remaining window     | Cyclical                      | 1984                           | 30                         | 4                                      | 2023                | \$ 4,000   | \$ -      | \$ -    | \$ -    | \$ -    | \$ -    | \$ -      | \$ -    | \$ -    | \$ -    | \$ -    |
| W2 - Transept, Upper Sanctuary and over entrance doors on the East and West | B2020 - Exterior Windows         | Repair and refurbishment  | Cyclical                      | 1957                           | 30                         | 10                                     | 2029                | \$ 5,000   | \$ -      | \$ -    | \$ -    | \$ -    | \$ -    | \$ -      | \$ -    | \$ -    | \$ -    | \$ -    |
| Add Storm Windows to Three Large Windows                                    | B2020 - Exterior Windows         | Add storm windows to transept and south stained glass windows                                       | Cyclical                      | 2019                           | 30                         | 6                                      | 2025                | \$ 15,000  | \$ -      | \$ -    | \$ -    | \$ -    | \$ -    | \$ -      | \$ -    | \$ -    | \$ -    | \$ -    |
| W3 -Main Church Low Level East and West Windows                             | B2020 - Exterior Windows         | Major repair and refurbishment to the wood windows  | Cyclical                      | 1957                           | 30                         | 11                                     | 2030                | \$ 3,000   | \$ -      | \$ -    | \$ -    | \$ -    | \$ -    | \$ -      | \$ -    | \$ -    | \$ -    | \$ -    |
| W4 - Main Church High Level East and West Windows                           | B2020 - Exterior Windows         | Major repair and refurbishment to the wood windows  | Cyclical                      | 1957                           | 30                         | 0                                      | 2019                | \$ 1,000   | \$ -      | \$ -    | \$ -    | \$ -    | \$ -    | \$ -      | \$ -    | \$ -    | \$ -    | \$ -    |
| W6 - Chapel Windows   | B2020 - Exterior Windows         | Replace deteriorated windows at end of life   | Cyclical                      | 1957                           | 30                         | 2                                      | 2021                | \$ 5,000   | \$ -      | \$ -    | \$ -    | \$ -    | \$ -    | \$ -      | \$ -    | \$ -    | \$ -    | \$ -    |
| W5- South Elevation Windows   | B2020 - Exterior Windows         | Replace deteriorated windows at end of life   | Cyclical                      | 1957                           | 30                         | 0                                      | 2019                | \$ 1,500   | \$ -      | \$ -    | \$ -    | \$ -    | \$ -    | \$ -      | \$ -    | \$ -    | \$ -    | \$ -    |
| W7- Boiler and East Stair Windows   | B2020 - Exterior Windows         | Replace deteriorated windows at end of life   | Cyclical                      | 1957                           | 30                         | 0                                      | 2019                | \$ 3,000   | \$ -      | \$ -    | \$ -    | \$ -    | \$ -    | \$ -      | \$ -    | \$ -    | \$ -    | \$ -    |
| W9- West Elevation Basement Level Windows                                   | B2020 - Exterior Windows         | Replace deteriorated windows at end of life   | Cyclical                      | 1957                           | 30                         | 0                                      | 2019                | \$ 2,000   | \$ -      | \$ -    | \$ -    | \$ -    | \$ -    | \$ -      | \$ -    | \$ -    | \$ -    | \$ -    |
| W8- North Wing Main and Fair Condition Windows                              | B2020 - Exterior Windows         | Repair and refurbishment fair condition windows   | Cyclical                      | 1957                           | 30                         | 4                                      | 2023                | \$ 1,000   | \$ -      | \$ -    | \$ -    | \$ -    | \$ -    | \$ -      | \$ -    | \$ -    | \$ -    | \$ -    |
| <b>Windows Summary</b>  |                                  |   |                               |                                |                            |  |                     |            | \$ -      | \$ -    | \$ -    | \$ -    | \$ -    | \$ 20,000 | \$ -    | \$ -    | \$ -    |         |
| <b>Doors</b>  |                                  |   |                               |                                |                            |  |                     |            |           |         |         |         |         |           |         |         |         |         |
| North Street Church Entrance Doors  | B2030 - Exterior Doors           | Replace doors at end of extended useful life  | Cyclical                      | 1957                           | 40                         | 20                                     | 2039                | \$ 5,000   | \$ -      | \$ -    | \$ -    | \$ -    | \$ -    | \$ 20,000 | \$ -    | \$ -    | \$ -    | \$ -    |
| Stair Doors   | B2030 - Exterior Doors           | Replace doors at end of extended useful life  | Cyclical                      | 1957                           | 40                         | 15                                     | 2034                | \$ 5,000   | \$ 30,000 | \$ -    | \$ -    | \$ -    | \$ -    | \$ -      | \$ -    | \$ -    | \$ -    | \$ -    |
| South West Stair Entrance Doors   | B2030 - Exterior Doors           | Replace poor condition doors at access ramp area  | Cyclical                      | 1957                           | 40                         | 3                                      | 2022                | \$ 5,000   | \$ -      | \$ -    | \$ -    | \$ -    | \$ -    | \$ -      | \$ -    | \$ -    | \$ -    | \$ -    |
| Mechanical Room Wood Doors  | B2030 - Exterior Doors           | Replace deteriorated wood doors with metal doors  | Cyclical                      | 1957                           | 40                         | 0                                      | 2019                | \$ 1,800   | \$ -      | \$ -    | \$ -    | \$ -    | \$ -    | \$ -      | \$ -    | \$ -    | \$ -    | \$ -    |
| Hardware Replacement  | B2030 - Exterior Doors           | Replace or refurbish the door hardware  | Cyclical                      | 1957                           | 25                         | 3                                      | 2022                | \$ 2,000   | \$ -      | \$ -    | \$ -    | \$ -    | \$ -    | \$ -      | \$ -    | \$ -    | \$ -    | \$ -    |
| <b>Doors Summary</b>  |                                  |   |                               |                                |                            |  |                     |            | \$ 30,000 | \$ -    | \$ -    | \$ -    | \$ -    | \$ 20,000 | \$ -    | \$ -    | \$ -    |         |
| <b>Roof</b>   |                                  |   |                               |                                |                            |  |                     |            |           |         |         |         |         |           |         |         |         |         |
| Asphalt Roof- Ridgeline Repair Allowance                                    | B3010 - Roof Coverings           | Localized repairs to damaged shingles   | Single                        | 2009                           | 10                         | 0                                      | 2019                | \$ 2,000   | \$ -      | \$ -    | \$ -    | \$ -    | \$ -    | \$ -      | \$ -    | \$ -    | \$ -    | \$ -    |
| Asphalt Roof- Valley Repair Allowance                                       | B3010 - Roof Coverings           | Repairs to shingles at valley areas as required to extend life of roof and prevent moisture ingress | Single                        | 2009                           | 15                         | 4                                      | 2023                | \$ 3,000   | \$ -      | \$ -    | \$ -    | \$ -    | \$ -    | \$ -      | \$ -    | \$ -    | \$ -    | \$ -    |
| Asphalt Roof- Low Roof Areas Replacement                                    | B3010 - Roof Coverings           | Replace low roofs prior to main church due to accelerated deterioration from drip edge of main roof | Cyclical                      | 2009                           | 20                         | 8                                      | 2027                | \$ 5       | \$ -      | \$ -    | \$ -    | \$ -    | \$ -    | \$ -      | \$ -    | \$ -    | \$ -    | \$ -    |
| Asphalt Roof- Main Roof Replacement   | B3010 - Roof Coverings           | Replace main church roof  | Cyclical                      | 2009                           | 20                         | 12                                     | 2031                | \$ 6       | \$ -      | \$ -    | \$ -    | \$ -    | \$ -    | \$ -      | \$ -    | \$ -    | \$ -    | \$ -    |
| Copper Bell Tower Roof  | B3010 - Roof Coverings           | Major repair or replacement not anticipated   | Cyclical                      | 1980                           | 100                        | 61                                     | 2080                | \$ 125     | \$ -      | \$ -    | \$ -    | \$ -    | \$ -    | \$ -      | \$ -    | \$ -    | \$ -    | \$ -    |
| Copper Trim -Repair allowance   | B3010 - Roof Coverings           | Allowance for repairs at the time of Roof Replacement   | Single                        | 1957                           | 50                         | 8                                      | 2027                | \$ 5,000   | \$ -      | \$ -    | \$ -    | \$ -    | \$ -    | \$ -      | \$ -    | \$ -    | \$ -    | \$ -    |
| Copper Trim -Repair allowance   | B3010 - Roof Coverings           | Allowance for repairs at the time of Roof Replacement   | Single                        | 1957                           | 50                         | 12                                     | 2031                | \$ 10,000  | \$ -      | \$ -    | \$ -    | \$ -    | \$ -    | \$ -      | \$ -    | \$ -    | \$ -    | \$ -    |
| Flat Roof - Replace BUR   | B3010 - Roof Coverings           | Remove and replace flat roof and address ponding  | Cyclical                      | 1980                           | 20                         | 0                                      | 2019                | \$ 18      | \$ -      | \$ -    | \$ -    | \$ -    | \$ -    | \$ 45,540 | \$ -    | \$ -    | \$ -    | \$ -    |
| Flat Roof - Repair Allowance  | B3010 - Roof Coverings           | Repair allowance of 20% to reach EUL  | Cyclical                      | 2019                           | 15                         | 15                                     | 2034                | \$ 18      | \$ 9,108  | \$ -    | \$ -    | \$ -    | \$ -    | \$ -      | \$ -    | \$ -    | \$ -    | \$ -    |
| <b>Roof Summary</b>   |                                  |   |                               |                                |                            |  |                     |            | \$ 9,108  | \$ -    | \$ -    | \$ -    | \$ -    | \$ 45,540 | \$ -    | \$ -    | \$ -    |         |
| <b>Specialty Systems</b>  |                                  |   |                               |                                |                            |  |                     |            |           |         |         |         |         |           |         |         |         |         |
| Lightning Protection System   | D5090 - Other Electrical Systems | Confirm the lightning protection system through operations and maintenance budgets                  | Single                        | 1957                           | 100                        | 1                                      | 2020                | \$ -       | \$ -      | \$ -    | \$ -    | \$ -    | \$ -    | \$ -      | \$ -    | \$ -    | \$ -    | \$ -    |
| <b>Specialty Systems Summary</b>  |                                  |   |                               |                                |                            |  |                     |            | \$ -      | \$ -    | \$ -    | \$ -    | \$ -    | \$ -      | \$ -    | \$ -    | \$ -    |         |

## Appendix B – Photo Log



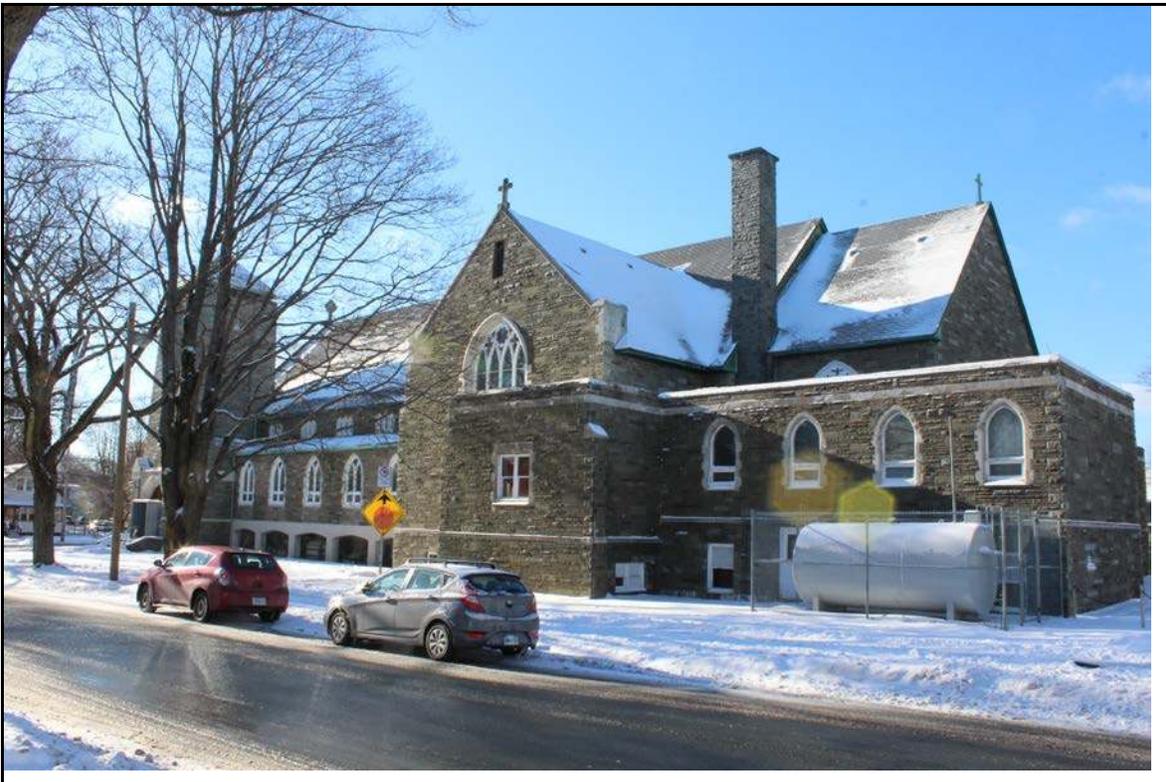
**Photo 1:** South Elevation of St. Theresa's Church North Street



**Photo 2:** West Elevation



**Photo 3:** North Elevation Seaforth Street



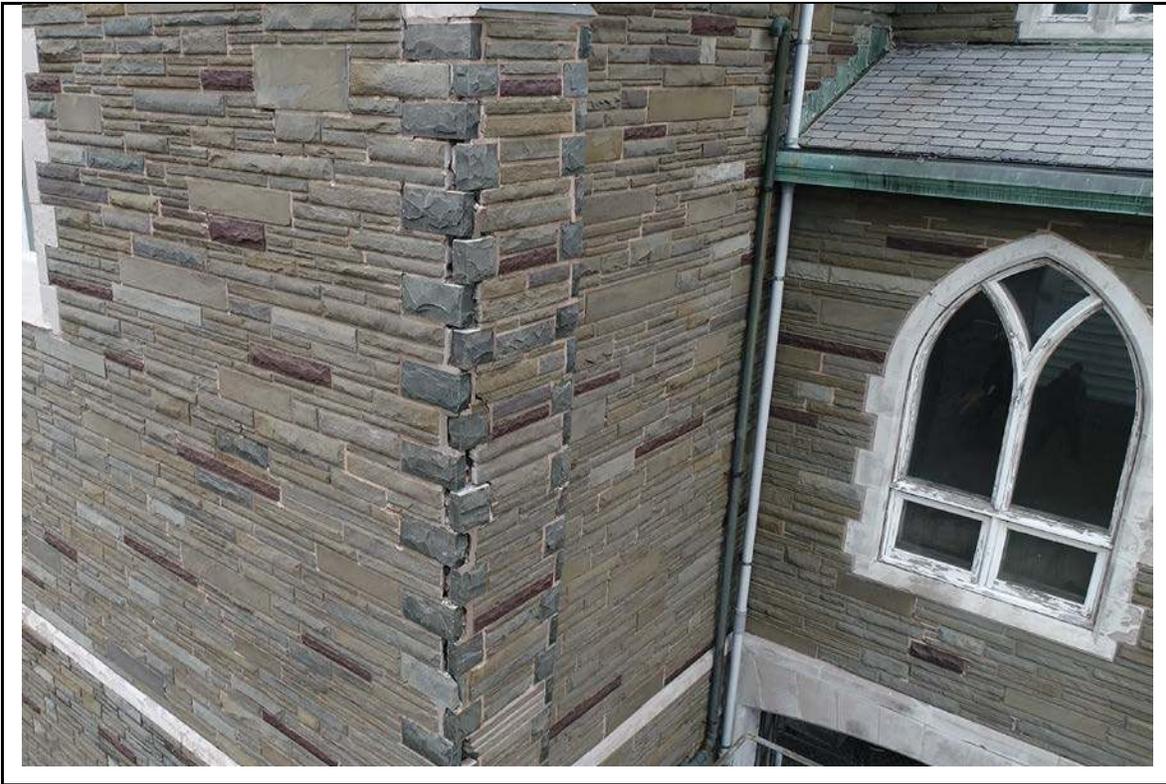
**Photo 4:** East Elevation Dublin Street



**Photo 5:** West Transept Masonry Deterioration, Absent And Cracked Mortar Dislodged Stone At Vent



**Photo 6:** South West Transept Corner Absent And Cracked Mortar, Stones With Evidence Of Movement In The Large Mortar Joint



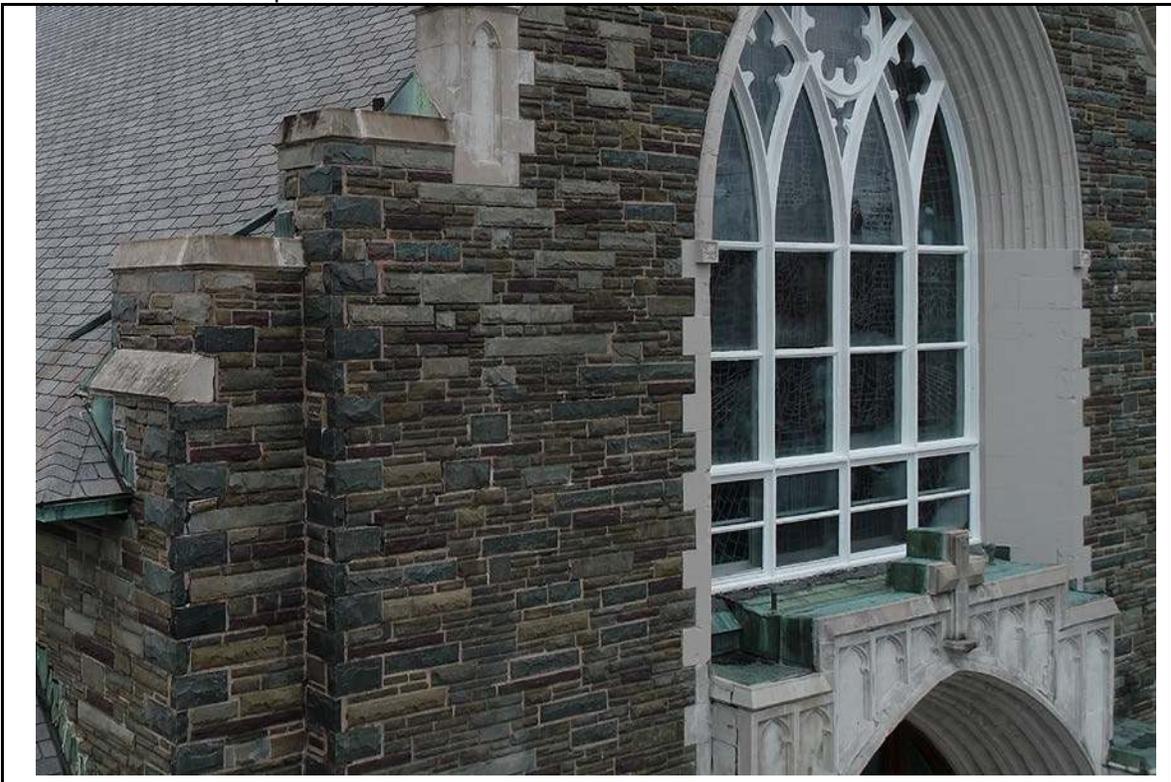
**Photo 7:** South West Transept Corner Looking East Absent And Cracked Mortar, Stones With Evidence Of Past Movement



**Photo 8:** West Elevation Below The Sacristy Absent Mortar And Evidence Of Past Repairs



**Photo 9:** West Elevation North Entrance Absent Mortar And Evidence Of Multiple Past Repairs



**Photo 10:** Upper South Elevation Absent And Cracked Mortar Dislodged Stones



**Photo 11:** Spalling To Special Shapes At The South Elevation



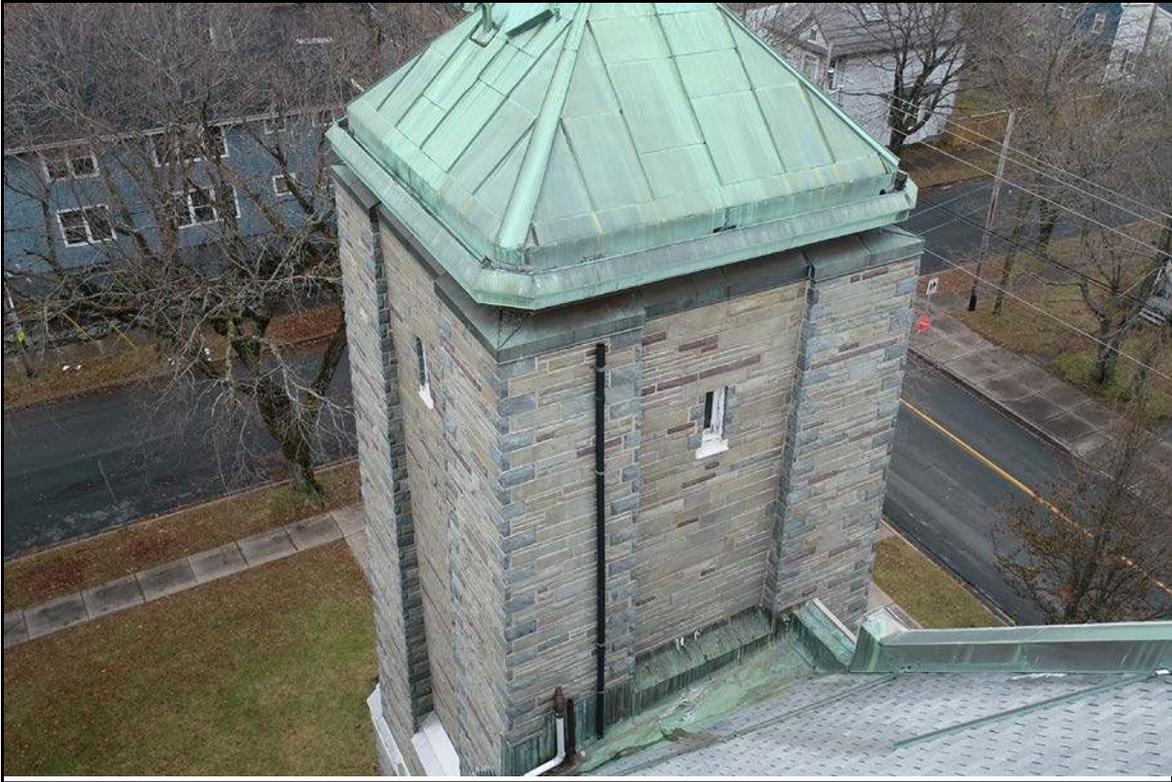
**Photo 12:** Spalling To Special Shapes At The South Elevation Deteriorated Windows



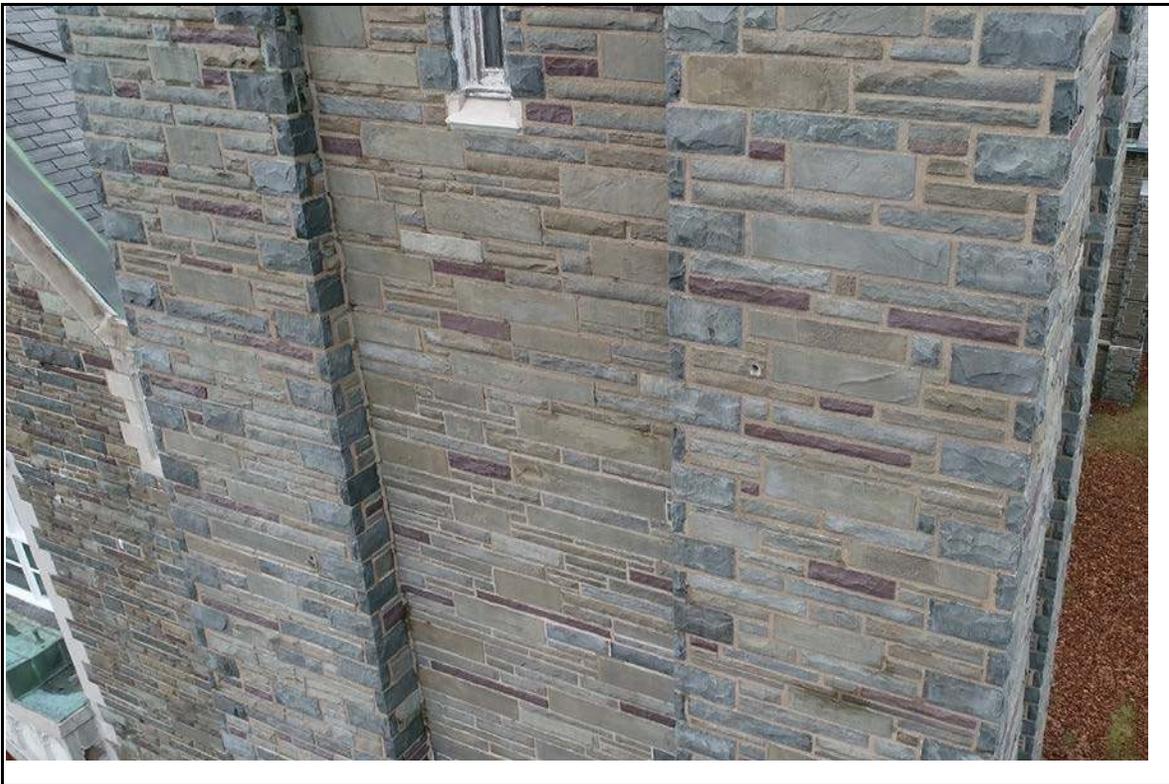
**Photo 13:** Long Term Interior Deterioration At The Window Shown In Photo 12



**Photo 14:** East Elevation South Entrance Spalling To Special Shapes



**Photo 15:** Bell Tower From Above Looking South East In Good Condition



**Photo 16:** Bell Tower South Elevation From Above Mortar in Good Condition



**Photo 17:** East Elevation Damaged Stone And Corroded Steel Lintel



**Photo 18:** North Elevation Absent Mortar and Past Repairs



**Photo 19:** North Elevation Efflorescence And Damaged Special Shapes



**Photo 20:** Intrusive Investigation West Elevation Corner, Evidence Of Movement In The Gap Between The Stone And Concrete Block Behind



**Photo 21:** Intrusive Investigation West Elevation



**Photo 22:** Corroded Brick Tie



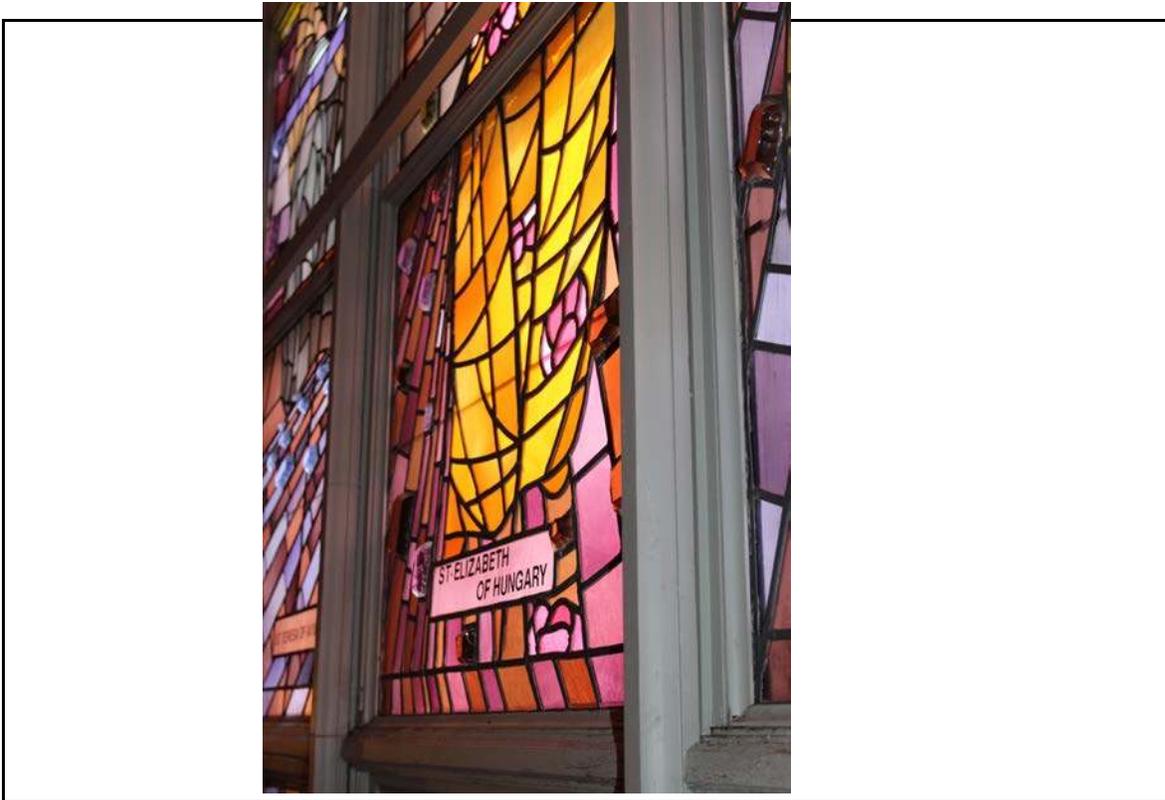
**Photo 23:** Corroded Brick Tie Removed From Wall During Intrusive Investigation



**Photo 24:** W1 West Elevation Typical Condition



**Photo 25:** W1 From The Interior West Elevation Typical Condition



**Photo 26:** Buckeling Stained Glass



Photo 27: W2 West



Photo 28: W2 South Elevation Recently Repaired



**Photo 29:** W3(lower) & W4(upper) On The East Elevation Typical Condition



**Photo 30:** W3 Window Condition



**Photo 31:** W3 Window Condition Lower Operable Window Sections



**Photo 32:** W4 Typical Interior Condition As Seen From Gallery



**Photo 33:** W5 South Elevation Window Condition Typical See also Photos 12 and 13



**Photo 34:** W6 East Elevation Window Condition



**Photo 35:** W7 Window Condition



**Photo 36:** W7 Interior Window Condition



**Photo 37:** W8 Window Condition



**Photo 38:** W8 Interior Window Condition



**Photo 39:** W9 Window Condition



**Photo 40:** North West Door Condition



**Photo 41:** Main Door Condition



**Photo 42:** North West Door Condition



**Photo 43:** Boiler Room Door Condition Exterior Left Interior To The Right



**Photo 44:** Built Up Roof West Side



**Photo 45:** Built Up Roof West Side Organic Matter, Large Debris and Blueberrying



**Photo 46:** Built Up Roof North Side Blueberrying



**Photo 47:** Built Up Roof East Side Organic Matter and Blueberrying



**Photo 48:** Built Up Roof North Side Ponding and Blueberrying

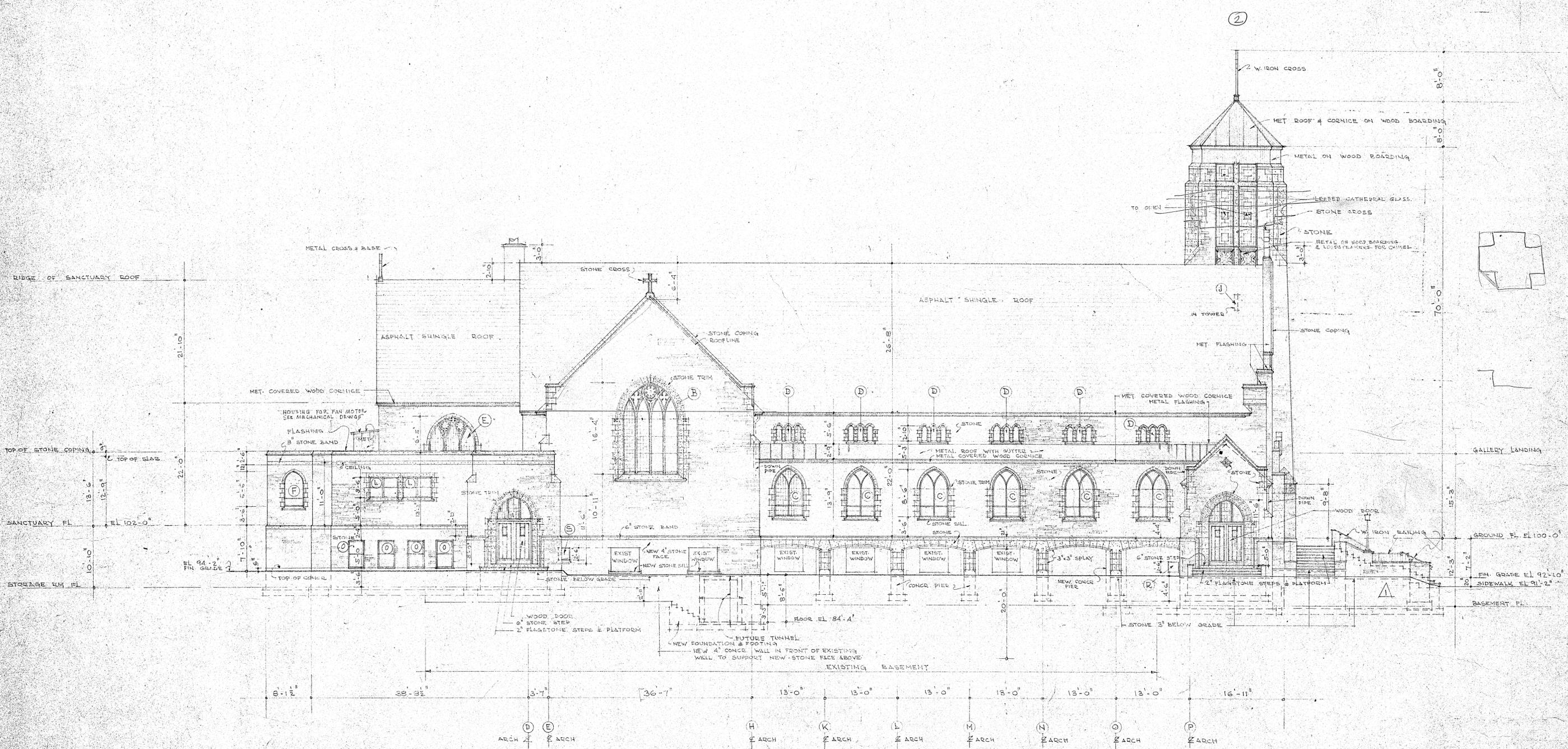


**Photo 49:** Asphalt Shingles



**Photo 50:** Asphalt Shingles At Lower Roof Drip Line

## **Appendix C – Intrusive Investigation And Pinning Locations**

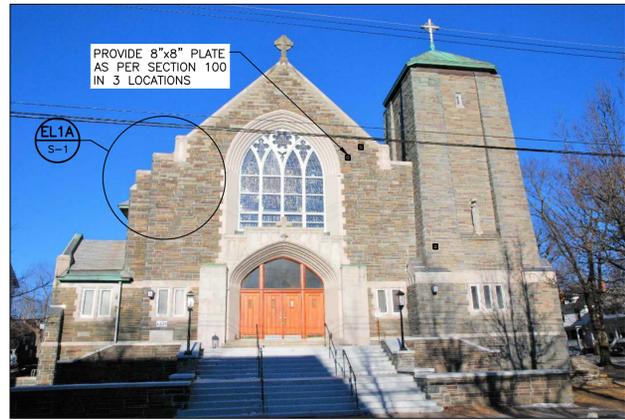
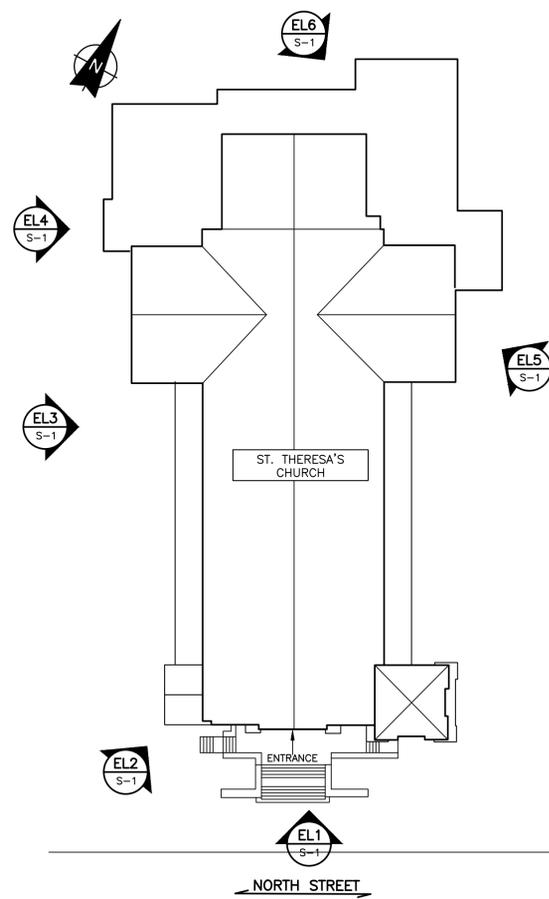


| REVISIONS  |  |
|------------|--|
| DATE       | REMARKS                                |
| 18 DEC. 56 | CONNECTION TO FUTURE TUNNEL ADDED      |
| 10 JAN. 57 | CHANGED WINDOWS IN 2 <sup>ND</sup> FL. |
| 23 JAN. 57 | CONNECTION TO TUNNEL                   |
| 4 OCT. 57  | MAIN ENTRANCE STEPS CHANGED            |

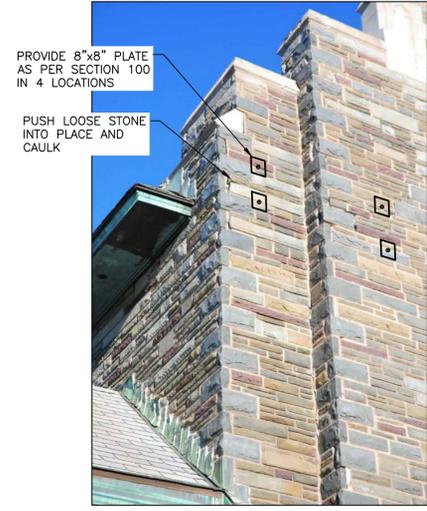
ST. THERESA'S CHURCH  
 HALIFAX, N.S. MONSIGNOR W.H. BURNS, S.P.  
 FOR THE ROMAN CATHOLIC EPISCOPAL CORPORATION  
 OF HALIFAX  
 MOST REVEREND GERALD BERRY  
 ARCHBISHOP OF HALIFAX

**SIDE ELEVATION**  
 WEST

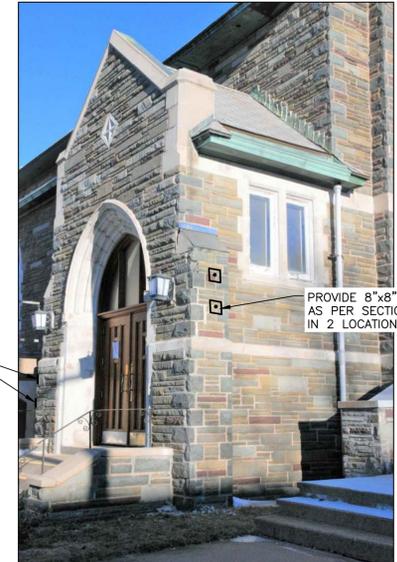
|              |  |         |           |
|--------------|--|---------|-----------|
| SCALE        | DATE                                       | JOB NO. | DRWG. NO. |
| 1/8" = 1'-0" | SEPT. 2-56                                 | 53-620  | 8         |
| DRAWN BY     | FRANCO CONSIGLIO B. ARCH. M.A.I.C.         |         |           |
| APPROVED BY  | F.C. ARCHITECT<br>1201 GUY STREET MONTREAL |         |           |



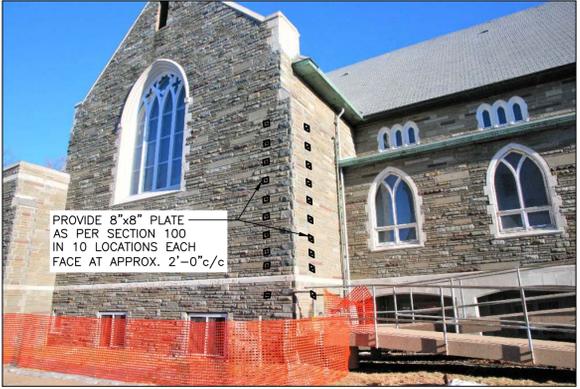
EL1 ELEVATION  
S-1



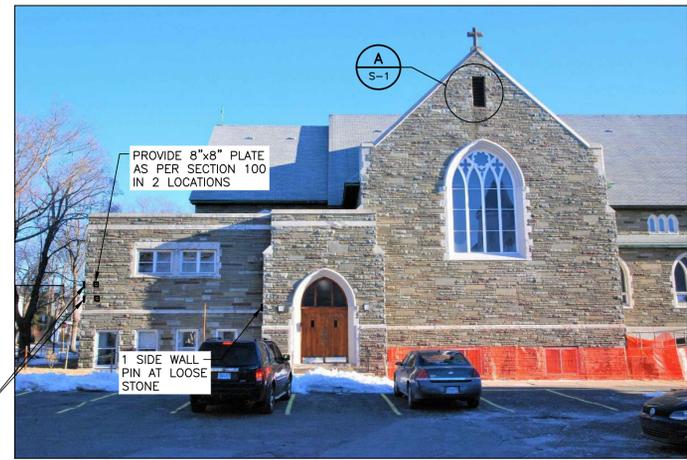
EL1A ELEVATION  
S-1



EL2 ELEVATION  
S-1



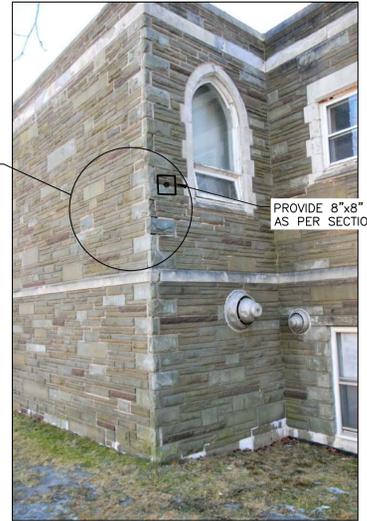
EL3 ELEVATION  
S-1



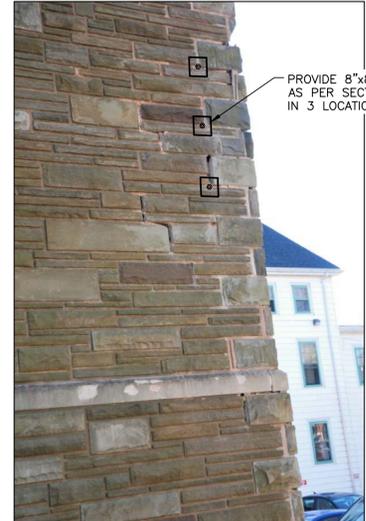
EL4 ELEVATION  
S-1



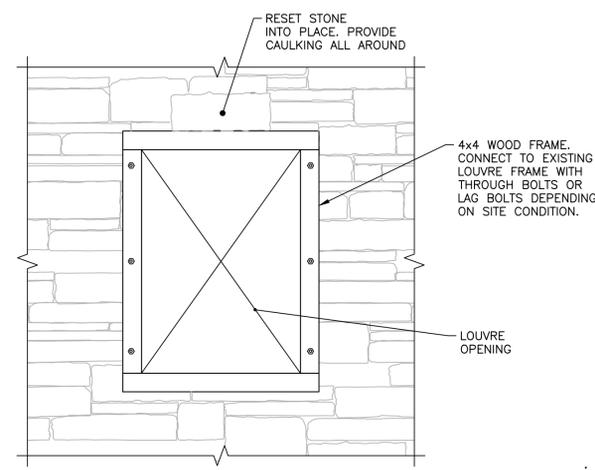
EL5 ELEVATION  
S-1



EL6 ELEVATION  
S-1

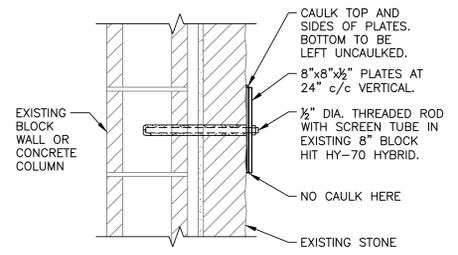


EL6A ELEVATION  
S-1



PROVIDE 4x4 WOLMANIZED FRAME. INSERT TO SUPPORT STONE. PAINT BROWN.

A ELEVATION  
SCALE: 3/4" = 1'-0"



100 SECTION-PIN DETAIL  
SCALE: 1 1/2" = 1'-0"

- GENERAL NOTES**
1. ALL WORK AND MATERIALS SHALL CONFORM TO THE REQUIREMENTS SET OUT IN THE 2015 NATIONAL BUILDING CODE OF CANADA.
  2. ALL WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH THE NOVA SCOTIA OCCUPATIONAL HEALTH & SAFETY ACT.
  3. ALL STEEL PLATES TO BE PAINTED WITH 2 COATS OF DTR RUST PREVENTATIVE PAINT, GREY.
  4. THREADED ROD, NUTS AND WASHERS TO BE HOT DIPPED GALVANIZED OR STAINLESS STEEL.
  5. CAULKING TO BE GREY, TREMCO DYMONIC OR EQUAL.
  6. COORDINATE ALL WORK WITH THE OWNER.
  7. PROVIDE ALL REQUIRED BARRICADES.
  8. CONTRACTOR TO PROTECT THE PUBLIC AND THE PROPERTY AT ALL TIMES.

|     |          |                   |
|-----|----------|-------------------|
| No. | Date     | Description       |
| 1   | 17/01/19 | ISSUED FOR REVIEW |

|        |        |
|--------|--------|
| Stamp: | Stamp: |
|--------|--------|

**CAMPBELL COMEAU ENGINEERING LIMITED**  
CONSULTING ENGINEERS

2719 GLADSTONE STREET  
SUITE 110 HALIFAX, N.S. B1K 4W6  
Tel: 420-5454 Fax: 444-3099  
Email: ccc@campbellcomeau.ns.ca

Project Title:  
**St. THERESA'S CHURCH MASONRY REPAIRS**

Drawing Title:  
**KEY PLAN & ELEVATIONS**

|           |        |          |            |
|-----------|--------|----------|------------|
| Designed: | MC     | Date:    | 17/01/2019 |
| Drawn:    | M.R.P. | Scale:   | AS NOTED   |
| Checked:  | MC     | Job No.: | 28118      |

Drawing No.:  
**S-1**